

# REPAIR REQUEST LIST

4055 S 2000 W  
05/11/2024 8:17 am

3.2.1 - Exterior: Driveway, Walkways & Patio  
**MISSING RAIL**

 Repair - Replace - Not Working

The stairs are missing graspable rails. These are recommended on stairs where (4) or more risers are present. Recommend repair.

Location  
Front

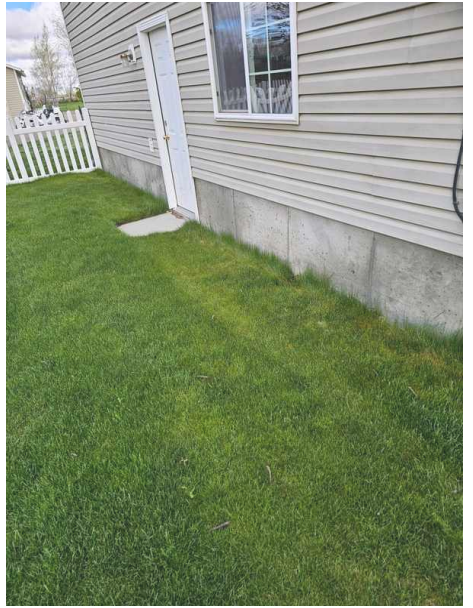


3.4.1 - Exterior: Grading & Drainage  
**GRADING AND DRAINAGE IS NEGATIVE OR NEUTRAL**

 Cosmetic - Monitor - Maintenance

Grading and drainage is either negative or neutral adjacent to the residence and moisture intrusion will remain a possibility. The soil or the hard surfaces should slope away from the residence to a distance of at least six feet to keep moisture away from the footings. We can elaborate on this issue, but you should seek a second opinion from a geologist or grading and drainage contractor.

Location  
Right Side & Front



3.5.1 - Exterior: Exterior Siding Notes  
**VEGETATION IS ENCROACHING**

 Cosmetic - Monitor - Maintenance

Vegetation is encroaching on the structure. We recommend they be trimmed and kept back at a minimum of twelve inches away the walls and foundation.

Location  
Several Areas Throughout





3.5.2 - Exterior: Exterior Siding Notes  
**DAMAGED VINYL SIDING - MINOR**

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Portions of the vinyl siding are missing, cracked or otherwise damaged. Recommend repair.

Location  
Several Areas Throughout





3.5.3 - Exterior: Exterior Siding Notes

SEAL PENETRATIONS/GAPS

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Gaps and/or holes were observed on one or more sides in the siding around plumbing, gas, cable, wiring and/or other penetrations. We recommend sealing.

Location

Several Areas Throughout



3.7.1 - Exterior: Fascia, Trim & Eaves

**TRIM MISSING/DAMAGED**

 Repair - Replace - Not Working

A piece of trim is damaged or missing. Recommend repairs.

Location  
Rear

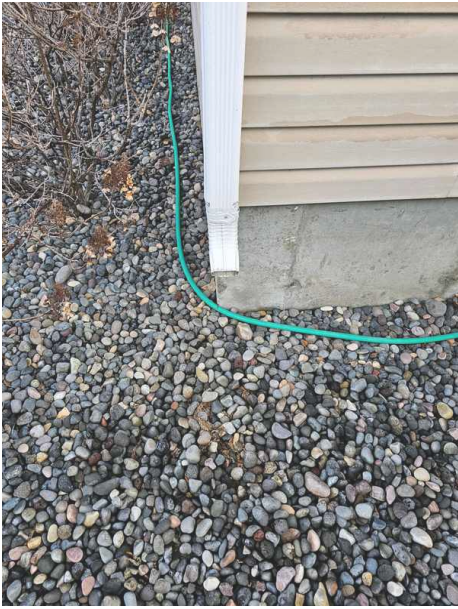


3.9.1 - Exterior: Downspouts  
**SPLASH BLOCKS MISSING**

 Cosmetic - Monitor - Maintenance

Some downspouts terminated close to, or against the home in one or more locations. We recommend splash blocks, or some other downspout extension, in these areas to ensure water runoff away from the structure.

Location  
Front & Rear



3.10.1 - Exterior: Exterior Doors  
**MISSING DEADBOLT PLATE**

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A door is missing its deadbolt plate and it should be replaced.

Location  
Left Side





3.10.2 - Exterior: Exterior Doors

WEATHERED DOOR

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One or more of the exterior doors was weathered. We recommend maintenance and minor repairs as needed.

Location

Left Side



3.16.1 - Exterior: Deck

WEATHERED DECK

 Cosmetic - Monitor - Maintenance

Portions of the deck were weathered and in need of minor repairs and maintenance.



3.16.2 - Exterior: Deck

**NO HANDRAIL**

 Repair - Replace - Not Working

A graspable handrail was not installed on the deck stairs. These are recommended when there are four steps. Recommend installing.





4.2.1 - Roof: Composition Shingle Roof Notes

DAMAGED SHINGLES - MINOR

 Cosmetic - Monitor - Maintenance

There were one or more shingles with minor damage. Recommend monitoring and repair as needed.



4.2.2 - Roof: Composition Shingle Roof Notes

EXPOSED NAILS VISIBLE

 Cosmetic - Monitor - Maintenance

There are one or more exposed nails. We recommend sealing all exposed nails.

Please visit our [Trusted Resources](#) page for a list of contractors who can assist with this.





5.3.1 - Garage(s): Garage Door & Hardware  
**GARAGE DOOR COSMETIC DAMAGE**

 Cosmetic - Monitor - Maintenance

The main garage door is functional, but has cosmetic damage. Recommend repair as needed.



5.5.1 - Garage(s): Slab Floor  
**NO HAND RAIL**

 Repair - Replace - Not Working

The stairs are missing graspable rails. These are recommended on stairs where (4) or more risers are present. We recommend rail be installed.

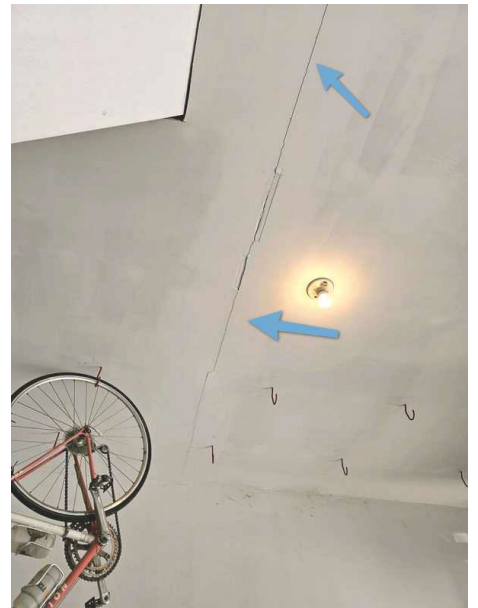


#### 5.9.1 - Garage(s): Walls and Ceiling

### TYPICAL SETTLEMENT CRACKING ON WALLS AND CEILINGS

 Cosmetic - Monitor - Maintenance

Observed typical settlement type cracking on walls and ceilings. Recommend monitoring.



#### 11.1.1 - Water Heater & Plumbing: Water Heating System

### SEISMIC STRAPS - MISSING/INSUFFICIENT

 Cosmetic - Monitor - Maintenance

The hot water heater was missing seismic straps or was insufficiently anchored. Recommend two straps to properly secure water heater in the case of an earthquake.

Please visit our [Trusted Resources](#) page for a list of contractors who can assist with this.



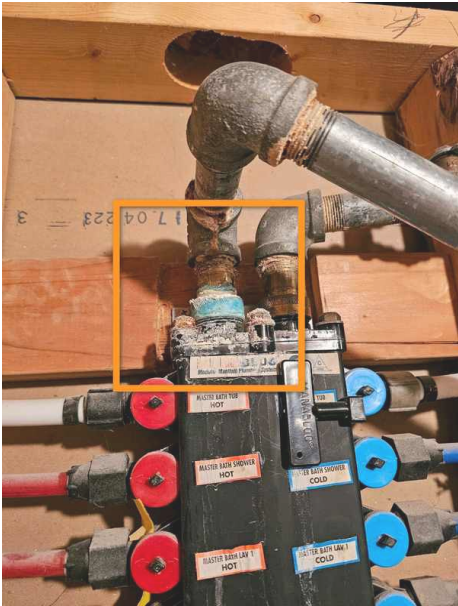


11.1.2 - Water Heater & Plumbing: Water Heating System  
PIPES-CORROSION

 Repair - Replace - Not Working

There was corrosion observed on one or more of the supplypipes at the time of the inspection. This could indicate a past or present leak, recommend evaluation and repair by a qualified licensed professional.

Location  
Basement



12.4.1 - Kitchen: Countertop  
MISSING OR DETERIORATED CAULK/GROUT

 Cosmetic - Monitor - Maintenance

The caulking or grout for the backsplash is missing, has gaps and/or not installed properly. We advise caulking/grout be installed and/or gaps sealed.



12.5.1 - Kitchen: Exhaust Fan Notes  
**NO EXTERIOR EXHAUST FOR GAS STOVE**

 Cosmetic - Monitor - Maintenance

The Kitchen has gas appliances, but there was no exhaust venting to the Exterior. We recommend improving ventilation.



14.4.1 - Bathrooms: Tub-Shower  
**CAULKING OR SEALING**

 Cosmetic - Monitor - Maintenance

Gaps or openings are observed around shower valves and faucet. Recommend sealing.





14.4.2 - Bathrooms: Tub-Shower  
**MISSING OR DETERIORATED CAULK/GROUT**

 Cosmetic - Monitor - Maintenance

The tub surround has missing or deteriorated caulk/grout. Recommend caulking or sealing.

Location  
Hallway Bathroom



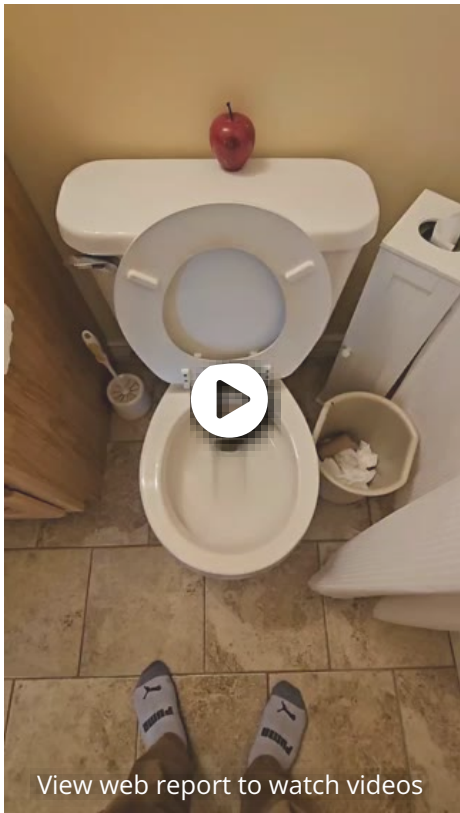
14.5.1 - Bathrooms: Toilet  
**FUNCTIONAL BUT LOOSE**

 Repair - Replace - Not Working

The toilet is functional, but loose on the floor and should be secured by a qualified technician for safety reasons, and to prevent possible damage or leaking from around the toilet.

**Please visit our [Trusted Resources](#) page for a list of contractors who can assist with this.**

Location  
Hallway Bathroom & Master Bathroom



View web report to watch videos



16.3.1 - Interior: Windows

**BROKEN SEALS**

 Repair - Replace - Not Working

One or more windows have broken hermetic seals. This is evident from fogging, or condensation forming between the panes of glass. This is cosmetic in nature. Recommend repair as desired.

Location  
Family Room



16.3.2 - Interior: Windows

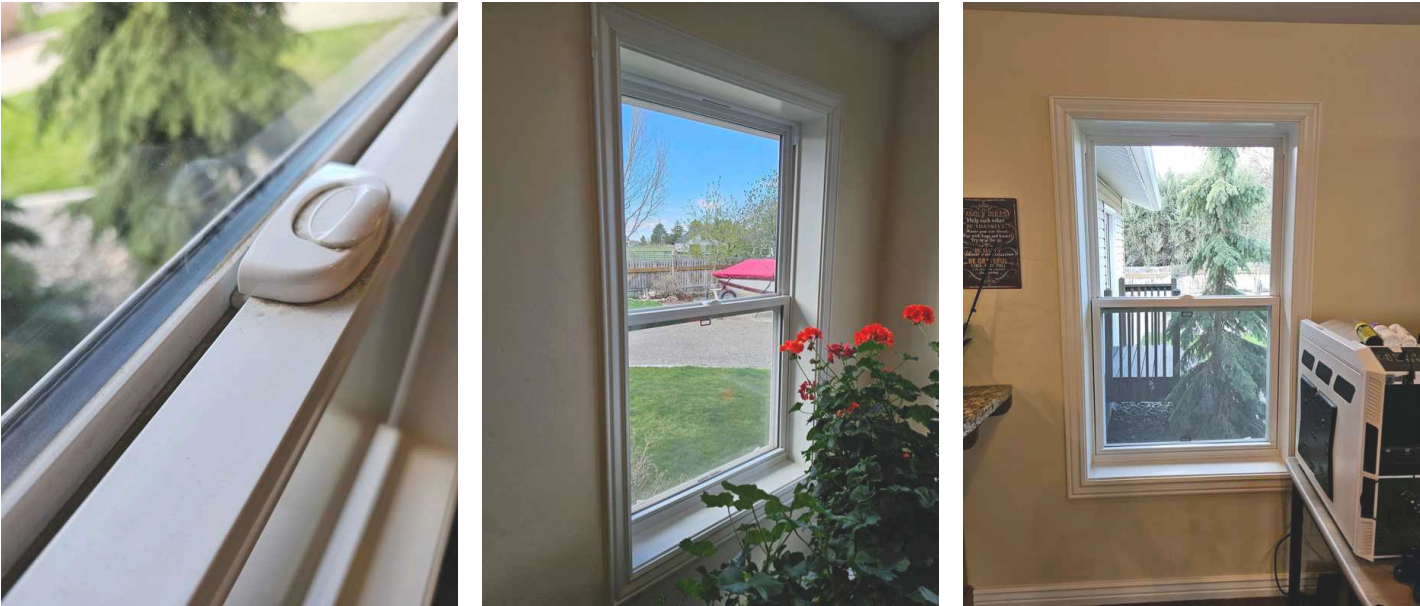
**A WINDOW LOCK IS MISSING OR DOES NOT ENGAGE**

 Cosmetic - Monitor - Maintenance

A window lock is missing or does not engage. Recommended repair.



Location  
Family Room / Kitchen



16.3.3 - Interior: Windows  
**SCREENS DAMAGED/MISSING**

 Cosmetic - Monitor - Maintenance

Window screens were missing or damaged in one or more areas. Recommend installing.

Location  
Right Front Basement Bedroom & Basement Bathroom & Basement Family Room



16.3.4 - Interior: Windows  
**MOISTURE STAINING AT WINDOW**

 Cosmetic - Monitor - Maintenance

There is visible moisture staining at a window. There is no current moisture detected. Recommend continuous monitoring for any further moisture intrusion and correct as necessary.

Location  
Left Rear Basement Bedroom



16.13.1 - Interior: Outlets, Electrical  
**MISSING / DAMAGED COVERS**

 Cosmetic - Monitor - Maintenance

There were missing / damaged covers that should be installed

Location  
Basement Hallway Closet

