

REPAIR REQUEST LIST

4055 S 2000 W
05/11/2024 8:17 am

3.2.1 - Exterior: Driveway, Walkways & Patio MISSING RAIL

Repair - Replace - Not Working

The stairs are missing graspable rails. These are recommended on stairs where (4) or more risers are present. Recommend repair.

Location
Front

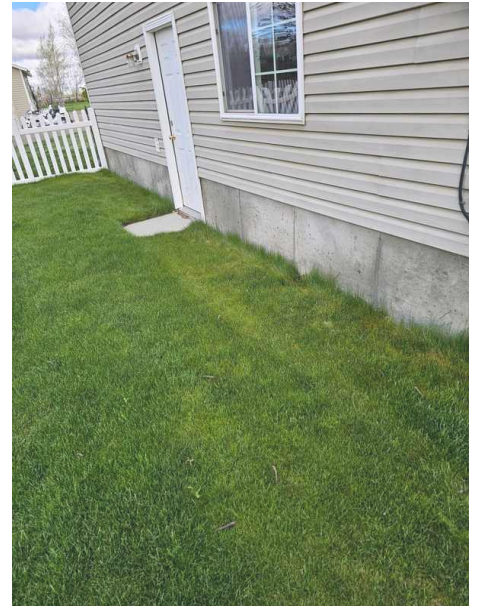
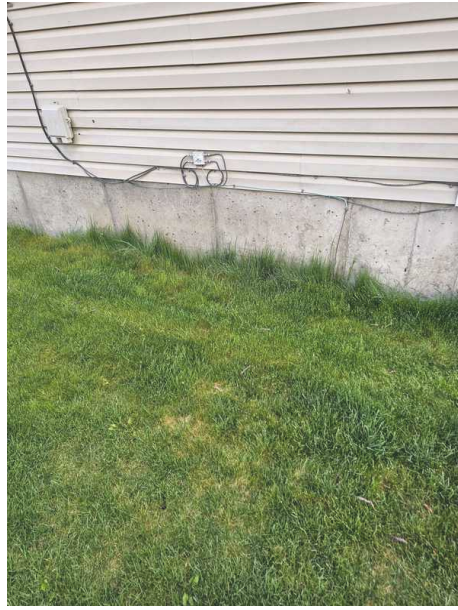


3.4.1 - Exterior: Grading & Drainage GRADING AND DRAINAGE IS NEGATIVE OR NEUTRAL

Cosmetic - Monitor - Maintenance

Grading and drainage is either negative or neutral adjacent to the residence and moisture intrusion will remain a possibility. The soil or the hard surfaces should slope away from the residence to a distance of at least six feet to keep moisture away from the footings. We can elaborate on this issue, but you should seek a second opinion from a geologist or grading and drainage contractor.

Location
Right Side & Front



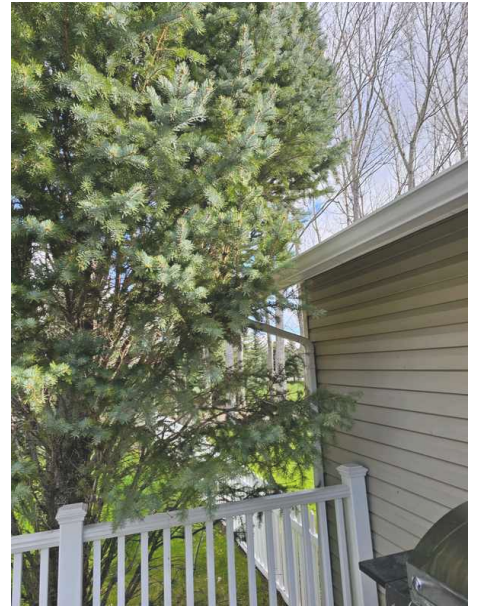
3.5.1 - Exterior: Exterior Siding Notes
VEGETATION IS ENCROACHING

 Cosmetic - Monitor - Maintenance

Vegetation is encroaching on the structure. We recommend they be trimmed and kept back at a minimum of twelve inches away the walls and foundation.

Location

Several Areas Throughout



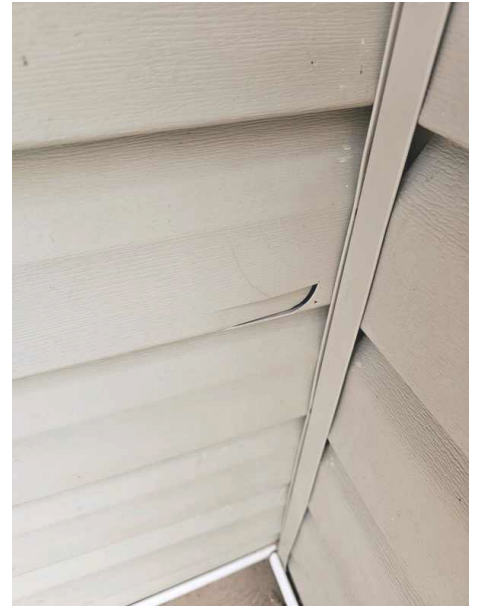
3.5.2 - Exterior: Exterior Siding Notes
DAMAGED VINYL SIDING - MINOR

 Cosmetic - Monitor - Maintenance

Portions of the vinyl siding are missing, cracked or otherwise damaged. Recommend repair.

Location

Several Areas Throughout



3.5.3 - Exterior: Exterior Siding Notes

SEAL PENETRATIONS/GAPS

 Cosmetic - Monitor - Maintenance

Gaps and/or holes were observed on one or more sides in the siding around plumbing, gas, cable, wiring and/or other penetrations. We recommend sealing.

Location

Several Areas Throughout



3.7.1 - Exterior: Fascia, Trim & Eaves
TRIM MISSING/DAMAGED

 Repair - Replace - Not Working

A piece of trim is damaged or missing. Recommend repairs.

Location
Rear

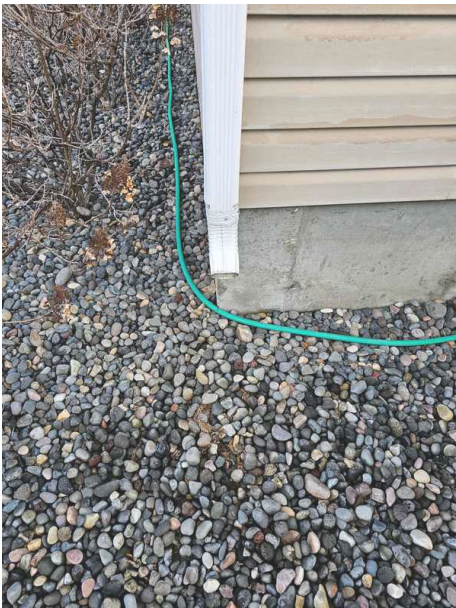


3.9.1 - Exterior: Downspouts
SPLASH BLOCKS MISSING

 Cosmetic - Monitor - Maintenance

Some downspouts terminated close to, or against the home in one or more locations. We recommend splash blocks, or some other downspout extension, in these areas to ensure water runoff away from the structure.

Location
Front & Rear



3.10.1 - Exterior: Exterior Doors
MISSING DEADBOLT PLATE

 Cosmetic - Monitor - Maintenance

A door is missing its deadbolt plate and it should be replaced.

Location
Left Side



3.10.2 - Exterior: Exterior Doors

WEATHERED DOOR

 Cosmetic - Monitor - Maintenance

One or more of the exterior doors was weathered. We recommend maintenance and minor repairs as needed.

Location

Left Side



3.16.1 - Exterior: Deck

WEATHERED DECK

 Cosmetic - Monitor - Maintenance

Portions of the deck were weathered and in need of minor repairs and maintenance.



3.16.2 - Exterior: Deck
NO HANDRAIL

 Repair - Replace - Not Working

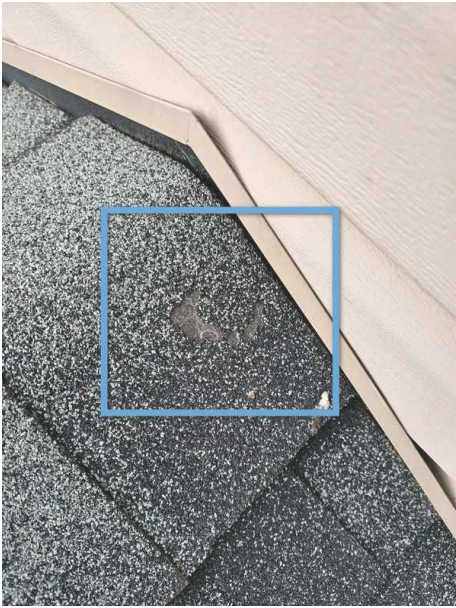
A graspable handrail was not installed on the deck stairs. These are recommended when there are four steps. Recommend installing.



4.2.1 - Roof: Composition Shingle Roof Notes
DAMAGED SHINGLES - MINOR

 Cosmetic - Monitor - Maintenance

There were one or more shingles with minor damage. Recommend monitoring and repair as needed.



4.2.2 - Roof: Composition Shingle Roof Notes
EXPOSED NAILS VISIBLE

 Cosmetic - Monitor - Maintenance

There are one or more exposed nails. We recommend sealing all exposed nails.

Please visit our [Trusted Resources](#) page for a list of contractors who can assist with this.



5.3.1 - Garage(s): Garage Door & Hardware
GARAGE DOOR COSMETIC DAMAGE

 Cosmetic - Monitor - Maintenance

The main garage door is functional, but has cosmetic damage. Recommend repair as needed.



5.5.1 - Garage(s): Slab Floor
NO HAND RAIL

 Repair - Replace - Not Working

The stairs are missing graspable rails. These are recommended on stairs where (4) or more risers are present. We recommend rail be installed.

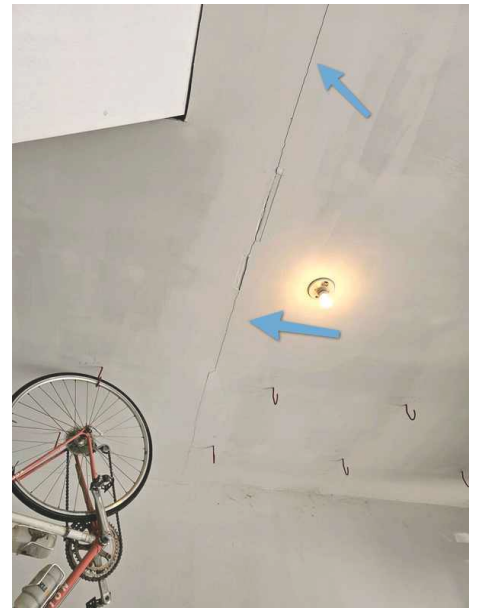


5.9.1 - Garage(s): Walls and Ceiling

TYPICAL SETTLEMENT CRACKING ON WALLS AND CEILINGS

 Cosmetic - Monitor - Maintenance

Observed typical settlement type cracking on walls and ceilings. Recommend monitoring.



11.1.1 - Water Heater & Plumbing: Water Heating System

SEISMIC STRAPS - MISSING/INSUFFICIENT

 Cosmetic - Monitor - Maintenance

The hot water heater was missing seismic straps or was insufficiently anchored. Recommend two straps to properly secure water heater in the case of an earthquake.

Please visit our [Trusted Resources](#) page for a list of contractors who can assist with this.

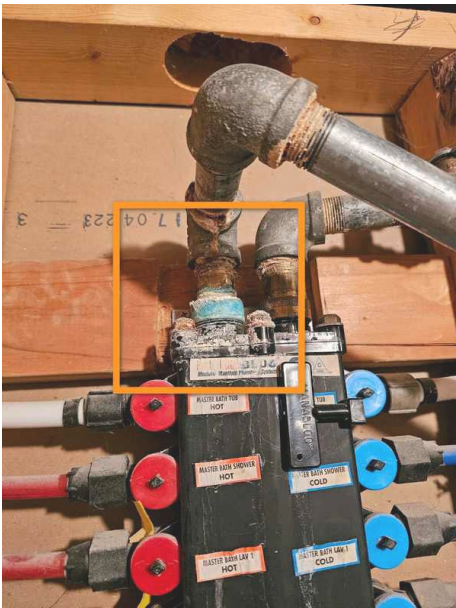


11.1.2 - Water Heater & Plumbing: Water Heating System
PIPES-CORROSION

Repair - Replace - Not Working

There was corrosion observed on one or more of the supplypipes at the time of the inspection. This could indicate a past or present leak, recommend evaluation and repair by a qualified licensed professional.

Location
Basement



12.4.1 - Kitchen: Countertop
MISSING OR DETERIORATED CAULK/GROUT

Cosmetic - Monitor - Maintenance

The caulking or grout for the backsplash is missing, has gaps and/or not installed properly. We advise caulking/grout be installed and/or gaps sealed.



12.5.1 - Kitchen: Exhaust Fan Notes

NO EXTERIOR EXHAUST FOR GAS STOVE

 Cosmetic - Monitor - Maintenance

The Kitchen has gas appliances, but there was no exhaust venting to the Exterior. We recommend improving ventilation.



14.4.1 - Bathrooms: Tub-Shower

CAULKING OR SEALING

 Cosmetic - Monitor - Maintenance

Gaps or openings are observed around shower valves and faucet. Recommend sealing.

Location
Hallway Bathroom



14.4.2 - Bathrooms: Tub-Shower

MISSING OR DETERIORATED CAULK/GROUT

 Cosmetic - Monitor - Maintenance

The tub surround has missing or deteriorated caulk/grout. Recommend caulking or sealing.

Location

Hallway Bathroom



14.5.1 - Bathrooms: Toilet

FUNCTIONAL BUT LOOSE

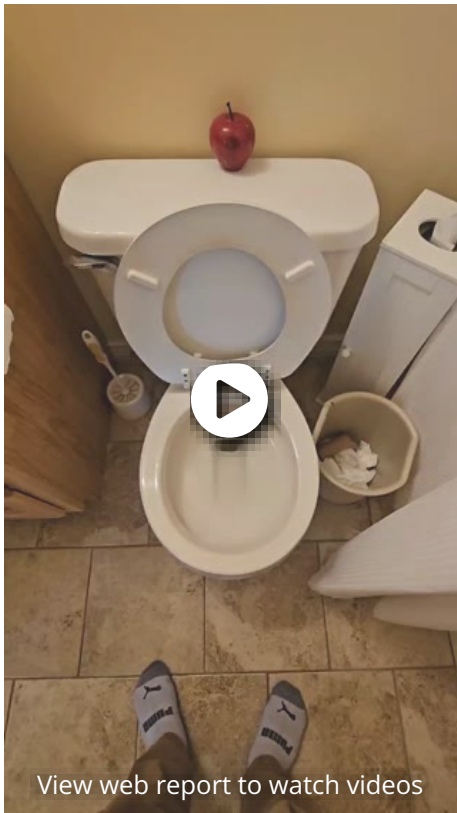
 Repair - Replace - Not Working

The toilet is functional, but loose on the floor and should be secured by a qualified technician for safety reasons, and to prevent possible damage or leaking from around the toilet.

Please visit our [Trusted Resources](#) page for a list of contractors who can assist with this.

Location

Hallway Bathroom & Master Bathroom



16.3.1 - Interior: Windows
BROKEN SEALS

 Repair - Replace - Not Working

One or more windows have broken hermetic seals. This is evident from fogging, or condensation forming between the panes of glass. This is cosmetic in nature. Recommend repair as desired.

Location
Family Room

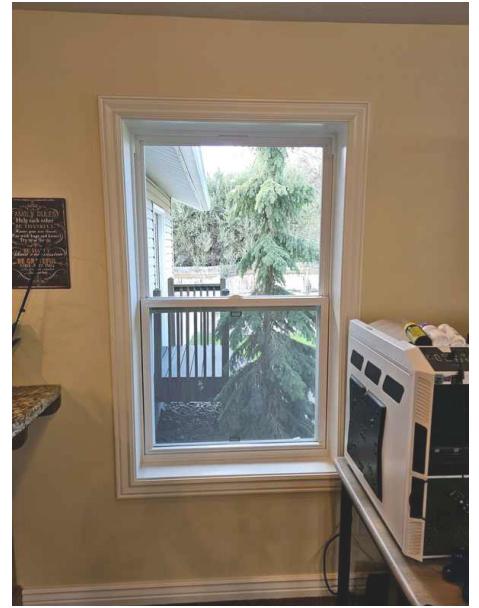


16.3.2 - Interior: Windows
A WINDOW LOCK IS MISSING OR DOES NOT ENGAGE

 Cosmetic - Monitor - Maintenance

A window lock is missing or does not engage. Recommended repair.

Location
Family Room / Kitchen



16.3.3 - Interior: Windows
SCREENS DAMAGED/MISSING

 Cosmetic - Monitor - Maintenance

Window screens were missing or damaged in one or more areas. Recommend installing.

Location
Right Front Basement Bedroom & Basement Bathroom & Basement Family Room



16.3.4 - Interior: Windows
MOISTURE STAINING AT WINDOW

 Cosmetic - Monitor - Maintenance

There is visible moisture staining at a window. There is no current moisture detected. Recommend continuous monitoring for any further moisture intrusion and correct as necessary.

Location
Left Rear Basement Bedroom



16.13.1 - Interior: Outlets, Electrical
MISSING / DAMAGED COVERS

 Cosmetic - Monitor - Maintenance

There were missing / damaged covers that should be installed

Location
Basement Hallway Closet

