



LIBERTY INSPECTION GROUP

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HOME INSPECTION REPORT

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FEBRUARY 28, 2023



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1: INSPECTION DETAILS

Information

Type of Inspection Standard Home Inspection	Standards of Practice Used This inspection was performed in accordance with the International Association of Certified Home Inspectors (InterNACHI) Standards of Practice	In Attendance Customer(s), Customer's Agent
Type of Property Single Family	Year Built 1990	Temperature 51-65 degrees
Weather Clear	Most Recent Precipitation Not within the last 3 days	Ground/Soil Surface Condition Dry
Occupancy Status Occupied	Furnished Status Fully Furnished (Limited Observation)	Utility Status All Utilities ON

Understanding Your Report

Please read this report in its entirety. The contents of this report are for the sole use of the client named above and no other person or party may rely on this report for any reason or purpose whatsoever without the prior written consent of Liberty Inspection Group. Any person or party who chooses to rely on this report for any reason or purpose whatsoever without the expressed written consent of the inspector does so at their own risk and by doing so without the prior written consent of the inspector waives any claim of error or deficiency in this report.

All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. For your convenience, the following conventions have been used in this report:



Defects: A problem with any residential real property or any portion of it that would have a significant adverse impact on the value of the property or that involves an unreasonable risk to people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of its normal life is not, by itself, a material defect. It is recommended that any items marked as "defect" and any components/systems related to these "defects" noted in the report be evaluated and repaired as needed by licensed contractors/professionals prior to the close of escrow. Further evaluation prior to the close of escrow is recommended so a properly licensed professional can evaluate the noted concerns further and inspect the remainder of the systems or components for additional concerns that may be outside our area of expertise or the scope of our inspection.



Safety Hazards: A condition that is judged to be a significant risk of bodily injury during normal, day-to-day use. The risk may be due to damage, deterioration, improper installation, or a change in accepted residential construction standards. You may choose to correct the condition or accept the risk. If you judge the risk to be "unreasonable", consider it a material defect. (The inspection and report does not include a comprehensive list of unmet modern safety standards.) All corrections and evaluations should be made prior to purchasing the property.



Attention/Maintenance Recommended: Attention conditions denote potential problems that may not be completely evident at the time of the inspection and a system or component needing further investigation and/or monitoring to determine if repairs are necessary. Attention may also denote specific items or information that are not necessarily problematic, but are considered valuable information to you as a courtesy, i.e. "FYI". Maintenance Recommended conditions denote a component or system that is in need of normal maintenance, repair or adjustment in order to continue functioning properly. All corrections and evaluations should be made prior to purchasing the property.

Items or systems not specifically noted in this report were considered acceptable or functioning at the time of inspection as per the InterNACHI Standard of Practice.

Routine home maintenance is one of the most important safeguards for your home. A good maintenance program can save you thousands of dollars in repairs and replacements of otherwise neglected items. Some helpful maintenance tips for your home can be found [here](#).

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Limitations

General

FULLY FURNISHED/OCCUPIED

The house is currently fully furnished and occupied with many areas concealed. It's highly recommend that the buyer and their agent perform their own walk-through before settlement to confirm the condition of the property.

2: ROOFING

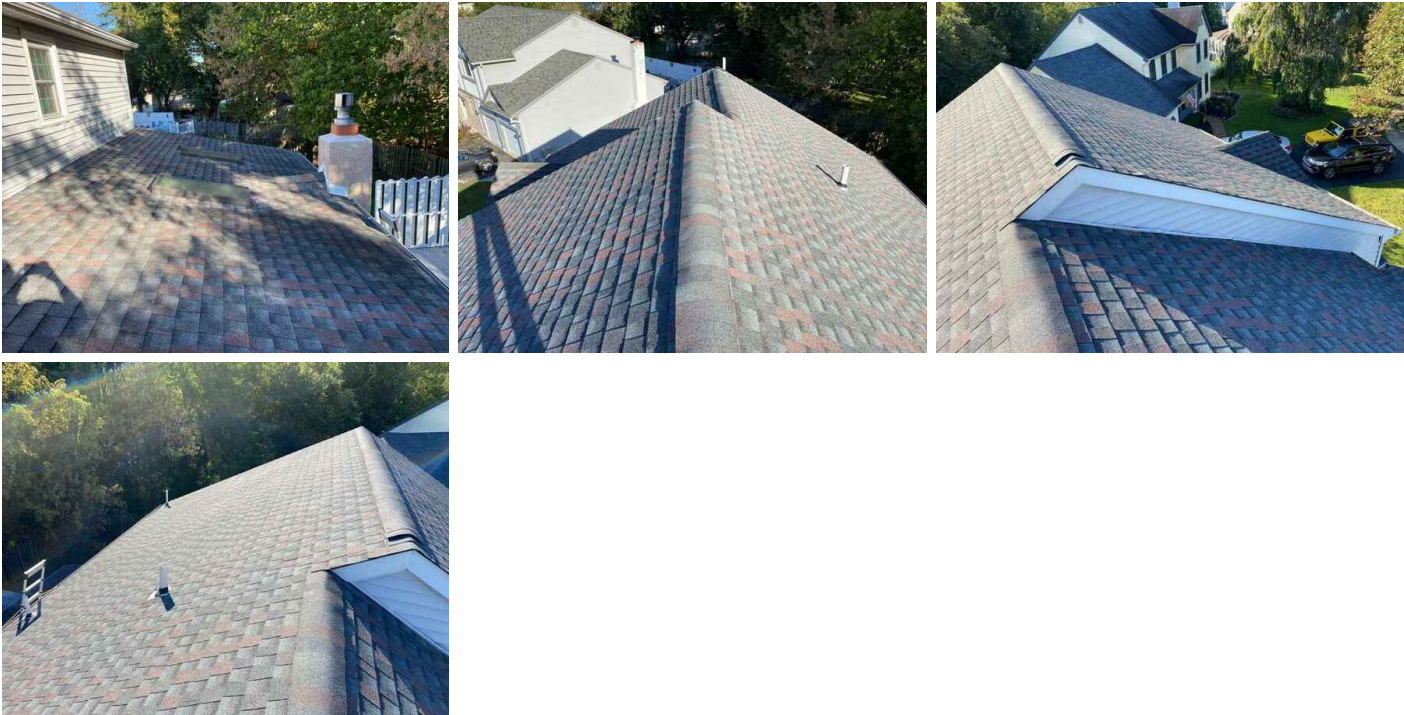
Information

Roof Style Gable	Roof Covering Architectural Shingle	Estimated Age of Roof Covering 5 - 10 years
Design Life of Roof Covering 30 years	Roof Covering Layers One layer is suspected	Chimney(s) Masonry, Rain cap(s) present
Roof Drainage System Downspouts discharge above grade	Roof Inspection Method Walked roof	Roof Ventilation Ridge vents, Soffit vents
Roof Decking Plywood	Attic Insulation Fiberglass Batts	Sky Light(s) Fixed

Roofing Inspection Standards

The InterNACHI Standards of Practice for roof inspections can be found [here](#).
Any repairs or remediation performed to the roofing system(s) should be done by a qualified, licensed professional.

Roof Overview: Overview Photos



Limitations

General

ROOFING INSPECTION LIMITATIONS

This is a visual inspection limited in scope by (but not restricted to) the following conditions: Antennae and other installed accessories are not inspected. If present, chimney flues are mainly concealed and cannot be fully inspected the whole way down. This is a typical limitation during a home inspection. A full chimney flue evaluation would need to be done using specialized equipment that is outside the scope of this inspection. Interior finishes may disguise evidence of prior leaks. Estimates of roof age and/or remaining roof life are approximations and do not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up and other factors. Keep in mind that there is no such thing as a "maintenance free" roof. All roofs will require periodic inspection and maintenance to ensure effective water shedding capabilities.

Roofs can leak. Even a roof that appears to be in good, functional condition may leak under certain circumstances. We do not take responsibility for a roof leak that happens in the future. This is not a warranty or guarantee of the roof system. It is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our inspection service. (If applicable) the view of the attic is limited because of the configuration of roof structural components, low clearance in various portions of the attic and insulation. Roof drainage gutters, downspouts and extensions are not tested for adequate slope and drainage. Some leaks at the gutters can only be determined at times of inclement weather resulting in higher than normal water conditions. The homeowner should observe the gutters during these conditions and repair any leaks as a routine maintenance requirement.

Observations

2.2.1 Sloped Roofing

DAMAGED SHINGLE

Cap shingles were noted to be damaged at the upper peak. Replacement by a licensed roofing contractor is needed.



2.4.1 Flashings

FLASHING DAMAGED

The flashing was cracked and damaged at the lower roof. Repairs and sealing of the area are needed to prevent water intrusion.

Recommendation

Contact a qualified handyman.



2.5.1 Chimney(s) and Roof Penetrations

CONTINUOUS LINER

The existence/condition of a continuous chimney liner could not be confirmed. A chimney liner helps promote proper exhausting of appliances. Removal of chimney cap is outside the scope of this inspection. The chimney should be fully evaluated and serviced prior to settlement by a qualified chimney expert.

Recommendation

Contact a qualified professional.



2.6.1 Roof Drainage Systems

GUTTERS - DEBRIS

Debris was noted in the gutters. Cleaning the gutters out is recommended to ensure proper drainage.

Recommendation

Contact a qualified professional.



Maintenance Item



2.8.1 Skylight(s)

MONITOR SKYLIGHT

Skylights are notorious for leaking. Because of this, the skylight should be regularly monitored for any signs of water intrusion including dripping and staining.

Recommendation

Contact a qualified professional.



Maintenance Item



3: EXTERIOR

Information

Exterior Wall Material(s) Vinyl, Wood	Exterior Platform(s) Deck, Porch, Sidewalk	Driveway Asphalt
Obstructions Inaccessible Areas	Site Grading Sloped away from structure	Site Drainage Appears Sufficient

Exterior Inspection Standards

The InterNACHI standards of practice for inspecting exteriors can be found [here](#).
Any repairs or remediation performed to the home's exterior should be done by a qualified, licensed professional.

Exterior Overview: Overview Photos



Limitations

General
EXTERIOR LIMITATIONS

As we have discussed and/or as described in your Inspection Agreement, this is a visual inspection limited in scope by (but not restricted to) the following conditions: Inspecting behind any siding or exterior surface material including, but not limited to: masonry, stucco, wood, shingle, composite, veneer etc is beyond the scope of this inspection and is limited to observing the surfaces only. Municipal sidewalks are not normally inspected. Any reporting of the sidewalks is entered because of self-evident adverse or safety conditions. Inspection of walkways or pathways is limited to those leading up to or in close proximity to the dwelling. Platforms i.e. decks and porches are often built close to the ground, making viewing or access beneath them impossible. These areas, as well as others too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in the report. This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soil engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation, or exterior walls. All exterior grades should allow for surface and roof water to flow away from the foundation. "Faulty grade" is the term used for areas sloped toward the foundation or where grading is too close to the exterior wall surfaces. This inspection is visual in nature and does not attempt to determine drainage performance of the site. Reporting on vegetation and retaining walls is limited to situations that may adversely affect the structure only. Inspecting/reporting on recreational facilities, swimming pools/spas (unless otherwise stated/agreed) playground equipment, sheds (unless otherwise stated/agreed), underground utilities, underground tanks, wells/springs, solar items, wastewater treatment systems, septic systems/cesspools and irrigation/sprinkler systems are beyond the scope of this inspection.

Observations

3.1.1 Exterior Overview



WOOD COMPONENT MAINTENANCE

Exterior wooden components will require regular ongoing maintenance to prevent deterioration, rot and insect damage.

Recommendation

Contact a qualified professional.

3.2.1 Walkways, Driveways and Components



DRIVEWAY WORN OUT

The driveway needs attention and minor repair to prevent further deterioration. The entire asphalt driveway should be seal coated every three years to extend the life of the surface, protecting it from the sun's ultraviolet rays, which can deteriorate the binder and expose the aggregate. Seal coating will prevent water and ice from getting into the pavement and causing it to crumble prematurely.

Recommendation

Contact a qualified professional.



3.5.1 Wall Covering(s) and Trim

**PAINT - DETERIORATION**

Areas of deteriorating paint were noted. These areas should be scraped and repainted to avoid water damage.

Recommendation

Contact a qualified professional.

3.5.2 Wall Covering(s) and Trim

**SIDING - DAMAGE**

The siding was noted to be loose and damaged at multiple areas around the house. Repair or replacement is needed.

Recommendation

Contact a qualified professional.



4: STRUCTURAL COMPONENTS

Information

Foundation Masonry block	Substructure Basement (unfinished)	Basement Flooring Material Cement
Main Floor Structure Wood joists	Subflooring Material Plywood	Substructure Insulation Fiberglass Batts
Roof Structure Rafters	Attic Inspection Method Walked (limited access)	Substructure Obstructions Not accessible, Insulation/Ductwork

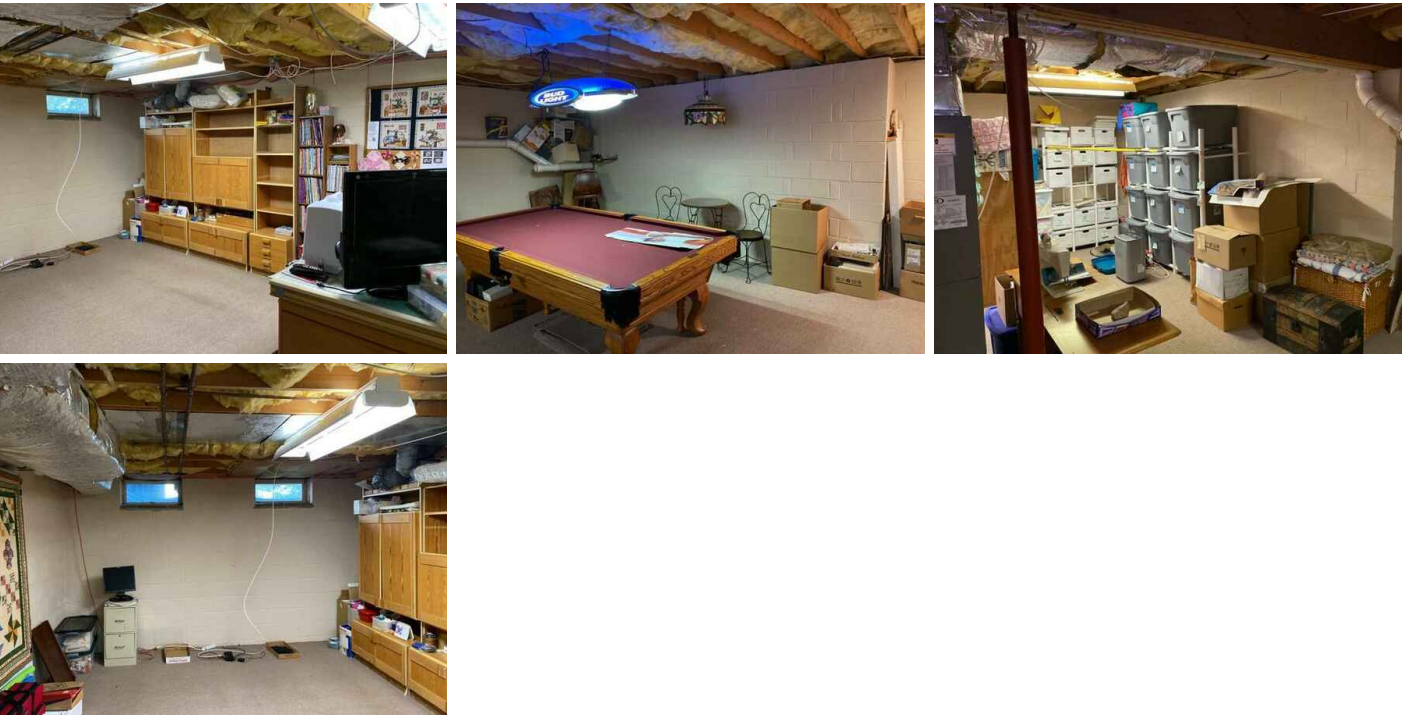
Other Structural Components

Adjustable columns installed.
These are only temporary.

Structural Inspection Standards

The InterNACHI standards of practice for inspecting structural components can be found [here](#).
Any repairs or remediation performed to the home's structure should be done by a qualified, licensed professional.

Structural Overview: Overview Photos



Limitations

General

STRUCTURAL INSPECTION LIMITATIONS

This is a visual inspection limited in scope by (but not restricted to) the following conditions: The inspector conducting your inspection is NOT a licensed structural engineer or other professional whose license authorizes the rendering of an opinion as to the structural integrity of a building or its other component parts. Only a representative sampling of visible structural components are inspected. Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection. Areas hidden from view by finished walls or stored items cannot be evaluated and are not a part of this inspection. Latent moisture damage inside wall cavities and behind exterior finish systems is not included in this report. Any past water damage disclosed may require further intrusive investigation that will require consent from the property owner and further evaluation by appropriate trades-persons. Upper story sub-flooring and structural components are concealed because of finished surfaces on both sides of the framing. Any repairs or remediation performed to the home's structure should be done by a qualified, licensed professional.

When a basement is present, installing a dehumidifier is recommended. This will help prevent microbial growth, the attraction of wood destroying insects and wood rot. Moisture entry in the basement environment is not uncommon. Most basements exhibit moisture entry from time to time. The basement should be monitored for any signs of moisture entry.

Observations

4.5.1 Columns/Posts

ADJUSTABLE COLUMNS

Adjustable columns were installed. These are only intended to be temporary. Permanent columns should be installed.

Recommendation

Contact a qualified professional.



Maintenance Item



5: ELECTRICAL SYSTEM

Information

Utility Status ON	Electrical Service Conductors Underground	Electrical Panel Location Garage
Service Size 200 AMP	Electric Panel Manufacturer(s) Crouse-Hinds	Main Panel Capacity 200 AMP
Main Disconnect Size 200 AMP	Main Shut Off Location Main Panel	Panel Type Circuit Breakers
Branch Wire 15 and 20 AMP Copper	Wiring Methods (only where visible) Romex	Room For Expansion Limited room
Label Status Labeled	Receptacle Types Grounded (three prong)	Smoke Detectors Present
Carbon Detectors NOT present. May be required. Check with Municipality.		

Electrical Inspection Standards

The InterNACHI standards of practice for inspecting electrical systems can be found [here](#).
Any repairs or remediation performed to the home's electrical system should be done by a qualified, licensed electrician.

Electrical Overview: Overview Photos



Limitations

General

ELECTRICAL INSPECTION LIMITATIONS

This is a visual inspection limited in scope by (but not restricted to) the following conditions: Electrical components concealed behind finished surfaces are not inspected. Only a representative sampling of outlets and light fixtures are tested. Determining exactly what is controlled by each wall switch cannot always be verified. Ground Fault Circuit Interrupters (GFCI) are safety receptacles that are installed to protect occupants from electric shock and are typically installed at locations within 6 feet of any water source or areas susceptible to wet or damp conditions. Older properties may not have GFCI outlets at all wet locations, in which case, upgrading is always recommended. Arc Fault Circuit Interrupters (AFCI) are safety breakers that are installed in newer homes to protect occupants from fire resulting from burning wires inside the walls and are installed at circuits within bedrooms. Older properties (built prior to 2003) typically do not have AFCI protection, in which case, upgrading is suggested. It should be understood that the vast majority of electrical wiring in a home is not visible during an inspection. In older homes, built prior to 1945, knob and tube wiring may be present, even when it is not visible. Ungrounded outlets in older homes may indicate antiquated wiring. Burned out light bulbs or cosmetic issues at light fixtures or missing globes are not reported. The inspection does not include remote control devices, alarm systems and components, low voltage wiring systems and components, exterior landscape lighting or ancillary wiring systems and components not part of the primary electrical power distribution system.

The wiring system is mostly concealed inside the structure components, reporting on concealed wiring is outside the scope of this inspection. Determining exactly what is controlled by each wall switch cannot always be verified. Burned out light bulbs or cosmetic issues at light fixtures or missing globes are not reported. Plastic diffusers often become very brittle over time, the slightest movement can break these components and therefore they are not moved. Phone lines, cable TV, internet, audio, security systems, landscape lighting, low voltage lighting systems and wiring is not included in this inspection. Testing of motion detector lights can only be tested during dark conditions; inspections are conducted during daylight hours, therefore, these light functions cannot be verified by the inspector. Smoke and carbon detectors in most newer homes are hard wired with a battery back up and all are interfaced, this will set off all of the detectors in the house at the same time. Setting detectors off is beyond the scope of this inspection and is limited to a visual observation only.

Observations

5.3.1 Electric Panel(s)

SHARP SCREWS IN PANEL

Sharp screws were noted at the dead front of the panel. These can potentially pierce wire sheathing in the interior of the panel and create a safety hazard. Replacement with proper screws is needed.

Recommendation

Contact a qualified professional.



Safety Hazard



5.4.1 Wiring and Fixtures

OPEN JUNCTION BOX

Junction boxes were noted without covers. The covers should be installed.

Recommendation

Contact a qualified professional.



Safety Hazard



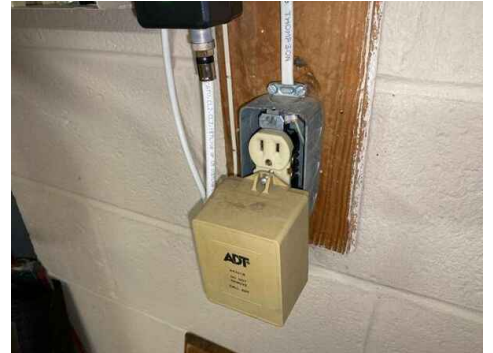
5.5.1 Receptacles

MISSING FACE PLATE**Safety Hazard**

A receptacle face plate was missing. This is a safety concern. Installation of the face plate is needed.

Recommendation

Contact a qualified professional.



5.7.1 Operation of GFCI (Ground Fault Circuit Interrupters)

**Safety Hazard****KITCHEN**

All kitchen receptacles are required to be GFCI protected. Installing GFCI protection to all kitchen circuits is needed for occupant safety.

Recommendation

Contact a qualified professional.



5.7.2 Operation of GFCI (Ground Fault Circuit Interrupters)

**Safety Hazard****LAUNDRY**

All receptacles in the laundry area are required to be GFCI protected. Installing GFCI protection to all laundry circuits is needed for occupant safety.

Recommendation

Contact a qualified professional.



5.8.1 Smoke and CO Detectors

GENERAL SMOKE/CARBON**Maintenance Item**

Testing smoke detectors is outside the scope of a home inspection. Always confirm that smoke and CO detectors are functional and in proper locations prior to settlement as circumstances within the home can change between the time of the inspection and move in/settlement. Operating smoke detectors should be installed in every sleeping room in the house as well as common areas on each level. Carbon Monoxide detectors should be located on every floor of the house and within the vicinity of gas burning equipment.

Recommendation

Contact a qualified professional.

6: PLUMBING SYSTEM

Information

Utility Status ON	Water Source Public (is apparent)	Water Shut Off Location Basement
Fuel Source Electric	Plumbing Water Distribution (only where visible) Copper	Plumbing Waste (only where visible) PVC
Sewer Cleanout Location Interior	Water Heater Location Basement	Water Heater Power Source Electric
Water Heater Capacity 50 Gallon	Water Heater Brand GE	Estimated Age of Water Heater 16+ years
Water Heater Design Life 10-12 years	Hose Bibbs Present (not frost free)	Existing Radon Mitigation System Not Present
Sump Pump Present		

Plumbing Inspection Standards

The InterNACHI standards of practice for inspecting plumbing systems can be found [here](#).
Any repairs or remediation performed to the home's plumbing systems should be done by a qualified, licensed Plumber.

Plumbing Overview: Overview Photos



Main Water Shut Off



Water Heater

Limitations

General PLUMBING INSPECTION LIMITATIONS

This is a visual inspection limited in scope by (but not restricted to) the following conditions: The inspector is not required to determine whether water supply and waste disposal systems are public or private. If described above, the inspector has made an assumption, not verified, about these systems. Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected. To learn the condition of the underground sewer line, you may have it inspected by a plumbing and sewer contractor using a video camera. Such an examination is beyond the scope of a home inspection. Water quality and water quantity, supply flow and pressure are not measured. Shut-off valves and relief valves are not operated during the inspection. Interiors of vent systems, flues and chimneys that are not readily accessible are not inspected. Approximate dates of manufacture and capacity of water heaters are good faith estimates based upon interpretation of available data, including serial numbers, and reliance on reference materials that I believe to be dependable. Accuracy cannot be guaranteed. Existing radon mitigations systems are beyond the scope of this inspection, and any comment on a system is done only a courtesy. It is highly recommended that radon testing is done, regardless of the presence of a mitigation system. Water conditioning systems; solar, geo-thermal, and other renewable energy water heating systems; manual and automatic fire extinguishing and sprinkler systems; landscape irrigation systems; wells, well pumps and water storage related equipment; septic and other sewage disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.

Most of the pipes and lines are concealed within the structural components. The piping/line materials and conditions were confirmed where they route throughout unfinished spaces of the structure only. Inspecting septic and well systems is outside the scope of this inspection (unless otherwise stated/agreed) and should be thoroughly inspected by qualified specialists before purchasing as this requires specialized equipment. Inspecting the sewer line and water main supply line from the house to the street is outside the scope of this inspection. It is not possible to confirm the condition of the sewer or water main supply line from the house to the street during a limited non-invasive inspection. It is always possible to get the sewer line invasively inspected by a qualified sewer line inspector as this requires specialized equipment. Operating main valves is outside the scope of this inspection, main valves are prone to leaks because of limited use. We inspect the water heating equipment for function and configuration. We do not guarantee that the water heater will not leak in the future. Water heaters will inevitably leak. We will not take take responsibility

Observations

6.1.1 Plumbing Overview



Maintenance Item

SEWER SCOPE OVERVIEW

This inspection merely identifies the type of sewage waste disposal system. It does not comment on the adequacy or effectiveness of the system. It is HIGHLY RECOMMEND that the client contact Liberty Inspections, or another qualified inspector to perform a sewer scope in order to determine the existing condition of the non-visible sewer/ waste in the building. This is particularly true for older structures in which the sewer/waste lines/pipes may be made of material other than plastic.

Common sewer line problems are root intrusion, holes, pooling, cracks, and pipe separation. A functioning sewer line may have problems that do NOT currently affect the performance of the line and may NOT present themselves during a property inspection. However, these problems may cause a future sewer backup leading to an unexpected emergency line repair or replacement.

Recommendation

Contact a qualified professional.

6.4.1 Plumbing Water Supply, Gas Pipe, Distribution System and Fixtures



Maintenance Item

CORROSION

Corrosion was observed at copper plumbing connections. No active leaking was found at the time of inspection but hidden leaks could be present. Monitor the areas for leaks.

Recommendation

Contact a qualified professional.

6.6.1 Hot Water Systems



Maintenance Item

OLD WATER HEATER

The water heater is old and is nearing or has outlived its expected life. Although it is functional at the time of inspection, it could fail unexpectedly. Budgeting for replacement is recommended.

Recommendation

Contact a qualified professional.

6.8.1 Bathroom(s)



Defect

TOILET - LOOSE

POWDER ROOM

The toilet was loose which can put stress on the plumbing and waste line connections. This could ultimately result in waste and water spills. Fully securing the toilet is needed.

Recommendation

Contact a qualified professional.



6.8.2 Bathroom(s)



Maintenance Item

SHOWER - LOOSE HEAD/MAST

The shower head/mast was loose. Securing and sealing is recommended.

Recommendation

Contact a qualified professional.



6.12.1 Hose Bibbs



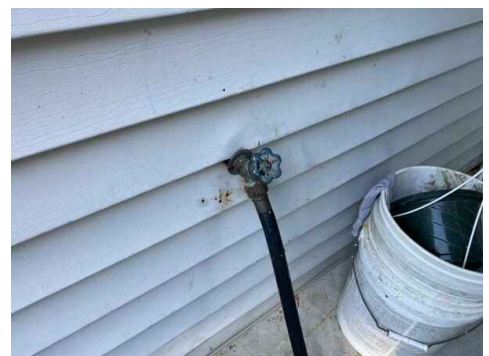
Maintenance Item

FROST FREE REPLACE

The hose bibb was not frost free. Frost free replacement is recommended.

Recommendation

Contact a qualified professional.



7: HEATING/CENTRAL AIR CONDITIONING

Information

Heating System Type(s) Heat Pump Forced Air (also provides cool air)	Energy Source Electric	Heating System Brand LENNOX
Heating System Age 14 years	Heating System Design Life 15-20 years	Heat Distribution Temperature (using temp gauge) 90 - 105 degrees
Cooling System Type Central Air Conditioning	Cooling System Brand LENNOX	Cooling System Age 14 years
Cooling System Design Life 12-15 years - Statistical life span of exterior condenser unit	A/C Distribution Temperature (using temp gauge) 50-55 Degrees	Distribution Method(s) Duct work
Thermostat Location(s) Main Floor	Service Records Not present. A typical service check up is advised.	Number of Zones One zone
Other HVAC Components Shut Off Switch	Types of Fireplaces Vented gas logs	Extra HVAC Info No service records are found. Having the system(s) serviced is recommended.

HVAC Inspection Standards

The InterNACHI standards of practice for inspecting HVAC systems can be found [here](#).

Any repairs or remediation performed to the home's HVAC systems should be done by a qualified, licensed professional.

HVAC Overview: Overview Photos



AC Condenser



Heat Pump

Limitations

General

HVAC INSPECTION LIMITATIONS

This is a visual inspection limited in scope by (but not restricted to) the following conditions: The inspection of the system(s) is/are general and not technically exhaustive. A detailed evaluation of the interior components of the system(s) is/are beyond the scope of a home inspection. Heat exchanger, humidifier, dehumidifier, and electric air cleaning and sanitizing devices are not inspected. Heat supply adequacy, distribution balance and the adequacy of combustion air components are not determined. Cooling supply adequacy and distribution balance are not determined. Cooling units that are not permanently installed or that are installed in windows are not inspected. Humidity control devices if present can be problematic and fail without warning regardless of age, therefore, inspecting these units are outside the scope of this inspection. Temperature extremes may limit the testing of some equipment and will be reported accordingly. Approximate dates of manufacture of heating/cooling equipment are good faith estimates based upon interpretation of available data, including model and serial numbers, and reliance on reference materials that I believe to be dependable. Accuracy cannot be guaranteed. It is essential that any recommendation that we make for service, correction, or repair be scheduled before the closing, because the hired-professional could reveal additional defects or recommend further repairs that could affect your evaluation of the property.

Limitations/Exclusions: This inspection of the heating system and A/C system (IF applicable) is a visual inspection only using the normal operating controls for the system(s). The inspection of the system(s) is/are general and not technically exhaustive. A detailed evaluation of the interior components of the system(s) is/are beyond the scope of a home inspection. It is essential that any recommendation that we make for service, correction, or repair be scheduled before the closing, because the hired-professional could reveal additional defects or recommend further repairs that could affect your evaluation of the property. (IF applicable) the heat exchanger portion of a furnace is difficult to access and view without disassembly of the appliance. The heat exchanger cannot be checked thoroughly during a limited visual inspection. Humidity control devices (IF applicable) can be problematic and fail without warning regardless of age, therefore, inspecting these units is outside the scope of this inspection. Temperature extremes may limit the testing of some equipment and will be reported accordingly. This inspection is NOT a guarantee that the current conditions of the mechanicals on the day of the inspection will last after purchasing/move in.

Observations

7.2.1 Furnace/Heat Pump

FILTER - DIRTY



Maintenance Item

The filter was dirty. Replacement of the filter is recommended.

Recommendation

Contact a qualified professional.

7.6.1 Cooling and Air Handler Equipment

CONDENSER - INSULATION DAMAGE



Maintenance Item

The condenser suction line insulation was damaged/missing. Replacement of the insulation is suggested to control condensation buildup.

Recommendation

Contact a qualified professional.



7.6.2 Cooling and Air Handler Equipment

CONDENSER - NOT LEVEL



Defect

The condensing unit was out of level. Corrections should be made to prevent undue stress or damage to the unit which could shorten its lifespan.

Recommendation

Contact a qualified professional.



7.8.1 Gas/LP Firelogs and Fireplaces

NON OPERATIONAL

The gas fireplace did not function under normal operating conditions. It should be evaluated, serviced and confirmed operational.

Recommendation

Contact a qualified professional.



8: INTERIORS

Information

Window Types Thermal/Insulated, Double-hung, Tilt feature	Kitchen Appliances Present	Laundry Present
Dryer Power Source Electric	Dryer Vent Metal	Obstructions Fully furnished (limited access. Recommend a final walk-through inspection)

Extra Interior Info
Cosmetic imperfections were found throughout. Cosmetic repairs are recommended.

Interior Inspection Standards
The InterNACHI standards of practice for inspecting interiors can be found [here](#).
Any repairs or remediation performed to the home's interior should be done by a qualified, licensed professional.

Interiors Overview: Overview Photos



Limitations

General
INTERIOR INSPECTION LIMITATIONS

This is a visual inspection limited in scope by (but not restricted to) the following conditions: Furniture, storage, appliances and/or wall decors are not moved to permit inspection and may block defects. Floor coverings, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected. Confirmation of defects in insulated glass is not always possible due to temperature, weather, lighting conditions and window treatments. We will not take responsibility for fogged window panes that fog in the future. Areas where water damage is present can provide conditions that are conducive for molds to form. Some molds can be hazardous to human health. Identifying mold is beyond the scope of this inspection. Further testing by a qualified environmental professional to determine if water damaged areas contain toxic molds is recommended. A certified environmental remediation specialist should perform removal of any mold infected areas if toxic mold is found. Proper removal of materials by qualified individuals is necessary to avoid spreading mold spores throughout the interior of the structure. More information regarding the health risk of toxic mold is available from the Environmental Protection Agency (EPA). We do not report on odors from pets and cigarette smoke. Installed ovens, ranges, surface cooking appliances, microwave ovens, dishwasher machines, and food waste grinders are tested by using normal operating controls to activate only one primary function. Washing machines/dryers are considered to be personal property and not operated unless stated otherwise. Inspection of other household appliances is beyond the scope of this inspection. If they are turned on during the inspection, this is done as a courtesy to confirm basic operation only. Appliances present in the home at the time of the inspection may or may not be included in the sale. Please refer to your agreement for sale and the seller's disclosure.

Most of the walls and ceilings in the finished areas are covered and structural members are not visible. No obvious problems discovered. I could not see behind these coverings. Areas where water damage is present can provide conditions that are conducive for molds to form. Some molds can be hazardous to human health. Identifying mold is beyond the scope of this inspection. Further testing by a qualified environmental professional to determine if water damaged areas contain toxic molds is recommended. A certified environmental remediation specialist should perform removal of any mold infected areas if toxic mold is found. Proper removal of materials by qualified individuals is necessary to avoid spreading mold spores throughout the interior of the structure. More information regarding the health risk of toxic mold is available from the Environmental Protection Agency (EPA). It's always possible that pests are present behind the wall and ceiling coverings. Inspecting behind these obstacles is outside the scope of this inspection. IF there were no signs of pests observed at the inspection, it's never guaranteed that pests will not infest the home at a later date. Inspecting the interior of cabinets, closets, walls and floors throughout the home in fully furnished homes is greatly restricted due to being fully furnished with storage and personal belongings.

Observations

8.3.1 Laundry and Hookups

CLOTHES WASHER - NO CATCH PAN

Installation of a catch pan beneath the washing machine is needed to prevent water damage to interior finished surfaces in the event of a leak. A qualified repair person should perform corrections.

Recommendation

Contact a qualified professional.



Maintenance Item



8.5.1 Bathroom(s)

EXHAUST FAN - TERMINATION NOT FOUND



Maintenance Item

The termination point of the bathroom exhaust fan was not found. Exhaust fans should exhaust/terminate to the exterior. This should be discussed with the seller or qualified contractor.

Recommendation

Contact a qualified professional.



8.6.1 Kitchen Appliances/cabinets

APPLIANCE NOT FUNCTIONING



The garbage disposal was not operational at the time of inspection. Repair or replacement is needed.

Recommendation

Contact a qualified professional.



8.8.1 Windows

WINDOWS - FOGGED GLASS



Multi-pane window was fogged between the panes. Fogging or moisture between the panes indicates a poorly insulated pane seal. Replacement is needed.

Recommendation

Contact a qualified professional.



9: GARAGE

Information

Garage Size Two Car	Garage Type Attached	Door Operator(s) Present
Door Safety Features Some Present (install more for added safety)	Garage operation type (manual/automatic) Automatic	Obstructions Storage restricts view

Garage Inspection Standards

The InterNACHI standards of practice for inspecting garages can be found [here](#).

Any repairs or remediation performed to the garage or its components should be done by a qualified, licensed professional.

Garage Overview: Overview Photos



Limitations

General

GARAGE INSPECTION LIMITATIONS

This is a visual inspection limited in scope by (but not restricted to) the following conditions: Attached garages must have a fire separation wall installed between the garage space and the living space, attic, and/or substructure areas. These separation walls usually consist of fire resistant material such as drywall, or masonry materials. Garage access doors into the living space also must meet certain requirements for adequate fire protection, for example, they must be fire rated and self-closing. Cracking in the garage floor and oil stains on the floor are typical. Determining the heat resistance rating of a firewall is beyond the scope of this inspection.

Observations

9.2.1 Garage Door(s) and Safety Features

NO INFRARED SENSORS

Operator safety reverse beams were not installed. Infrared safety beam should be installed within 6" of the floor. A qualified garage door technician should be called to further evaluate and perform corrections.

Safety Hazard

Recommendation

Contact a qualified professional.



9.5.1 Garage Floor

TYPICAL CRACKING

The garage floor had typical cracking which is usually the result of shrinkage or settlement of the slab. The garage floor slab is not considered structurally integral to the home. Sealing the cracks is suggested.

Recommendation

Contact a qualified professional.



Maintenance Item



10: ENVIRONMENTAL

Information

Evidence of previous treatment found

No

Environmental Inspection Standards

Inspecting for environmental hazards, including the presence of mold, mildew, or fungus; airborne hazards, including radon; air quality; lead paint, asbestos, or toxic drywall is outside the scope of the InterNACHI standards of practice for home inspections. Any comment made on these items is done so as a courtesy.

Wood Destroying Insects/Pests Inspection Standards

Inspecting for wood destroying insects, pests, and wildlife is outside the scope of the InterNACHI home inspection standards of practice. Any comment made on the presence of wood destroying insects, pests, and other wildlife is done as a courtesy.

Any treatment for the presence of pests, or the removal of wildlife should be done by a trained professional.

11: PROPERTY PHOTOS

Information

Overview Photos





Heat



AC



Hot Water

