



## THE SALLADE'S INSPECTION SERVICES

4696670923

[inspections@thesallades.com](mailto:inspections@thesallades.com)

<http://www.thesallades.com/>



### YOU'RE HOME INSPECTION

1995 house  
Mckinney , TX 76082



Inspector

**Bill Sallade**

Certified Professional Inspector TREC # 10276

4696670923

[inspections@thesallades.com](mailto:inspections@thesallades.com)



Agent

**Bill Sallade**

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# PROPERTY INSPECTION REPORT FORM

Mr. & Mrs. Texan

*Name of Client*

1995 house, McKinney, TX 76082

*Address of Inspected Property*

Bill Sallade

*Name of Inspector*

10/04/2022 10:00 am

*Date of Inspection*

Certified Professional Inspector TREC # 10276

*TREC License #*

*Name of Sponsor (if applicable)*

*TREC License #*

## PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted.

*It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.*

## RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

## RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

**Please Note:** Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

## REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

## **NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS**

**Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:**

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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### **ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

*Type of Building:* Single Family

*Occupancy:* Vacant but staged

*In Attendance:* Buyer, Home inspector

*Weather Conditions:* Cloudy

*Temp (approx):* 70-80

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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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## I. STRUCTURAL SYSTEMS

### *Inspector Opinion:*

- All of the information contained herein is the **opinion** of the inspector, at the time of the inspection. Conditions may change.

### ☒ ☐ ☐ ☐ **A. Foundations**

*Type of Foundation(s):* Slab on Grade, With previous repair evidence

*Crawl space viewed from:* No crawl space

*Comments::*

- Any foundation deficiencies listed below in this section should be further evaluated by a Licensed Engineer of your choosing. Any deficiencies with regard to exposed cables or drainage problems should be further evaluated and corrected as necessary by a qualified contractor.

### *Performance Opinion:*

**\*\*Zip Level OK:**

### **Interior Elevation Survey:**

- Interior floor elevations were taken with a Technidea Pro-2000 Zipllevel. Elevations were recorded to the nearest 0.1-inch throughout the home. A benchmark of 0.0 was established and is shown on drawing with a star. An adjustment was made for floor height changes (sunken livingroom - raised platforms etc...) if they were a different elevation than the floor covering at benchmark location. It should be noted that the elevation measurements include effects of elevation variation in the original construction. New homes are normally within 0.6 inches to 1 inch of level, however sometimes they are up to 2.0 inches of level. A sketch of the house with the elevations is shown on the drawing below.

### **Conclusions and Opinion** on the Performance of the Foundation :

An elevation survey was performed on the foundation on the interior of the home. In addition, the interior and exterior of the home were reviewed for signs of distress due to movement. The elevation measurements along with the exterior and interior signs of distress were used to determine if the foundation is performing within recommended acceptable limits for slopes (movement) in a foundation. **Deflection variations** greater than 1 inch of vertical movement in 20 feet horizontally is when this inspector Starts to considers wether slopes should be corrected. Slopes in a foundation are typically cosmetic in nature and there is no definitive limit.

In **my opinion**, the foundation does not have any slopes in the elevation that are above acceptable tolerance for slopes and the foundation is **performing as designed**. Interior and exterior cosmetic damage is minimal. The foundation appears to be performing within acceptable limits of deflection and No foundation repairs are recommended.



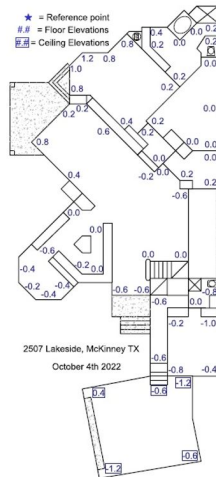
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Recommendation: Contact a qualified grading contractor.

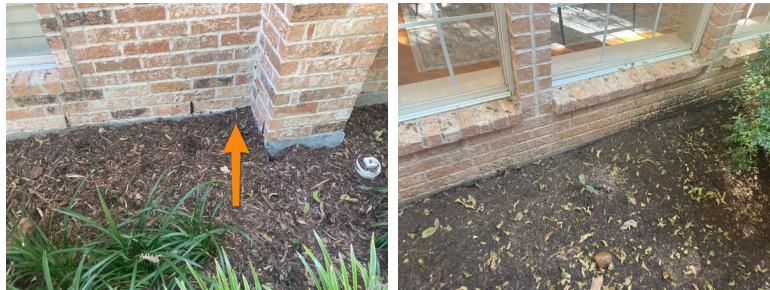


## 2: High Soil

☹️Minor or Cosmetic Deficiencies  
front & rear & right side

- The soil line is too high at one or more locations around the home. Under current building standards there should be at least 2-inches of foundation visible below masonry veneer and 4-inches of foundation visible below wood type veneer. High soils can lead to moisture problems in the wall cavities of a home. The soils need to be lowered so that at least two inches of foundation is visible under the first course of brick.

Recommendation: Contact a qualified grading contractor.



## 3: Retaining wall Mortar Cracks

☹️Minor or Cosmetic Deficiencies

- The mortar cracks observed on the retaining wall appear to be a minor and typical sign of seasonal movement. It is recommended that the cracks be repaired as necessary or as desired

Recommendation: Contact a qualified masonry professional.





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☒ ☐ ☐ ☒ **C. Roof Covering Materials**

*Types of Roof Covering:* Asphalt architectural shingles

*Viewed From:* Drone, Ground level

*Water Penetrations:* None found

*Prior Repairs:* None visible

*Comments:*

- Any roof covering deficiencies listed below in this section should be further evaluated the homeowners insurance company and or a qualified roofing contractor; and any necessary repairs should be corrected as necessary by a qualified roofing contractor.

*Pics for reference:*

- Pictures if the roof covering for reference.



*Leaves & Debris (Big trees):*

I=Inspected

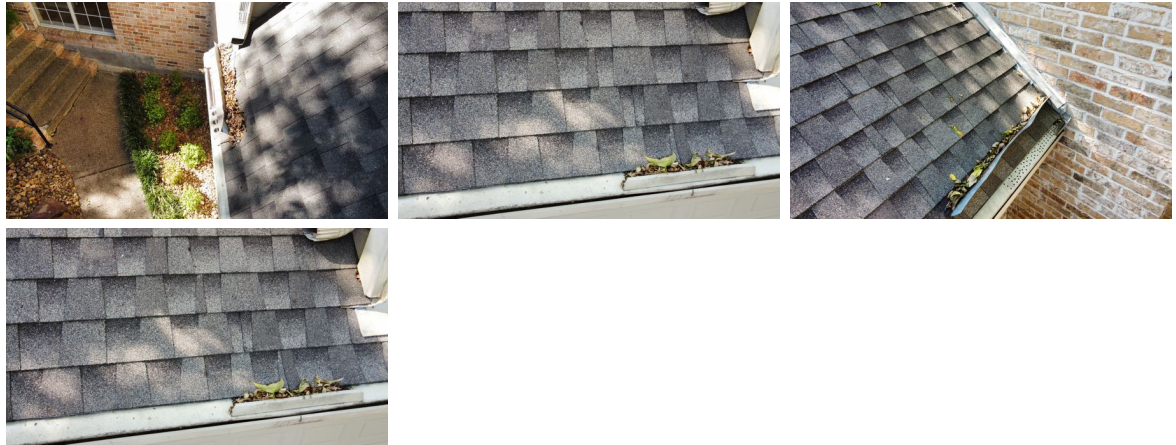
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I NI NP D

- Leaves and debris should be kept cleaned off of the roof covering. This will need to be part of regular home maintenance due to the height or size of the tree canopies.



**Limitation:**

Roof inspections are limited to visual observations of the accessible surfaces. The roof is inspected from the roof level, only if in the opinion of the inspector it can be done safely and without damaging the roof. Certain types of damage and/or poor workmanship (e.g., improper fastening, manufacturer defects, improper installation etc) may not be apparent during the visual inspection. As such the inspector cannot guarantee that the roof will be free of leaks, nor can the inspector determine the remaining service life of the roof covering.

**If deficiencies are noted and/or you have concerns about life expectancy, insurability or potential for future problems, we Highly recommend consulting with a Qualified roofing Contractor prior to the expiration of any warranty or option period.**

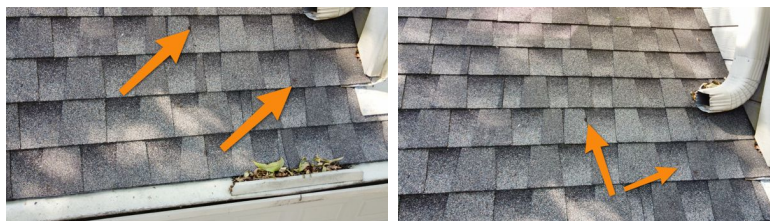
**1: Damaged shingles**

Minor or Cosmetic Deficiencies

left slope

- Damaged shingles were observed at the time of inspection. All damaged shingles should be replaced Prior to Closing.

Recommendation: Contact a qualified professional.



☒ ☐ ☐ ☒

**D. Roof Structure and Attic**

*Viewed From:* Decked space only

*Average Attic Insulation Thickness:* 13+

*Water Penetrations:* None Found

*Comments:*

- Any roof structure, Attic ladder, ventilation, insulation, gutters or soffit & fascia deficiencies listed below in this section should be further evaluated corrected as necessary by a qualified contractor.



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*Framing Type:* Conventional Wood Frame

*Vertical Insulation Thickness:* Not visible (finished home)

*Insulation Types:* Loose Fill

*Picture of the roof framing:*

Pictures of the roof framing for reference.

*Roof Structure Limitations:*

- Inspection of the roof structure and attic is performed by a visual observation of areas and components which can be reasonably and safely accessed. Areas where insulation is covering joists and no visible pathway could be identified will not be traversed

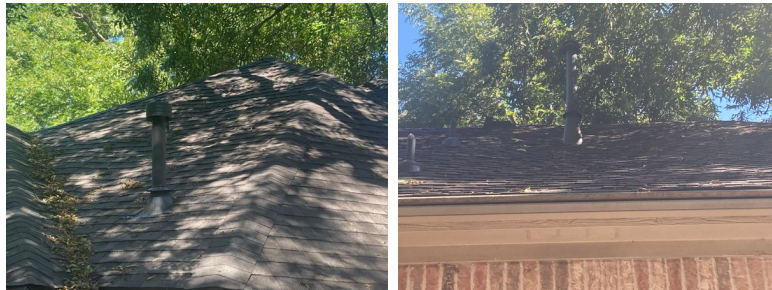
### 1: Roof Deck Sag

[🔧 Observations / Maintenance items](#)

rear slope & right side slope

Some noticeable sags and/or depressions were observed in the roof sheathing (decking).

Recommendation: Contact a qualified carpenter.



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### 2: Nuts Loose or missing

[⚠️ Essential Items \(Licensed Professionals & Safety\)](#)

Some of the attic ladder nuts and bolts were observed to be loose and/or missing. Minor improvements to the attic ladder are recommended for reasons of safety.

Recommendation: Contact a qualified handyman.

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### 3: Bracket holes

⚠️ Minor or Cosmetic Deficiencies

The bracket holes for the attic ladder need to have a framing nail or lag screw installed to better secure the attic ladder.

Recommendation: Contact a qualified professional.

### 4: Gap at ladder rungs

⚠️ Minor or Cosmetic Deficiencies

There was observed to be a gap between the ladder rungs. Over time this can cause damage to the rungs. The ladder was also observed to be wobbly. It is recommended that the ladder be adjusted.

Recommendation: Contact a qualified carpenter.



☒ ☐ ☐ ☒ **E. Walls (Interior and Exterior)**

*Comments:*

*Material:* Brick, Fiberboard siding

*Method:*

- The inspection of interior and exterior walls focuses on structural performance and water penetration issues. The condition of surface finishes and cosmetic blemishes are not noted, except where they may contribute to or be symptomatic of other problems. Areas within finished walls and concealed flashing details (e.g. doors, windows, brick ledges, etc.) are not accessible and beyond the scope of the inspection. Home furnishings, artwork, stored goods, heavy foliage, etc. can obscure damage, water stains, previous repairs,

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etc., and preclude assessment of these conditions.

As a matter of general home maintenance, it is recommended that all deficiencies in the "exterior envelope" be sealed for energy efficiency and to help prevent water and moisture penetration into the structure. Examples would be caulking doors/windows, replacing worn weather-strip seals, and sealing wall penetrations or openings (around light fixtures, a/c lines etc.)

#### General Limitations:

- The inspection is limited to only those surfaces that are exposed and readily accessible. The Inspector does not move furniture, lift floor-covering materials, or remove or rearrange items within closets or on shelving.

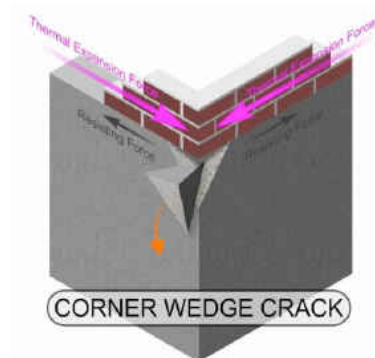
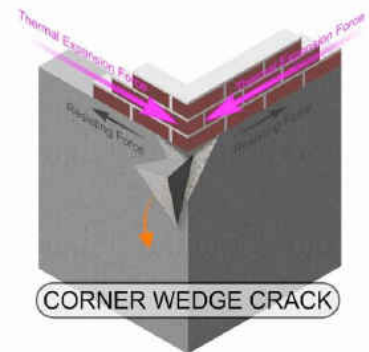
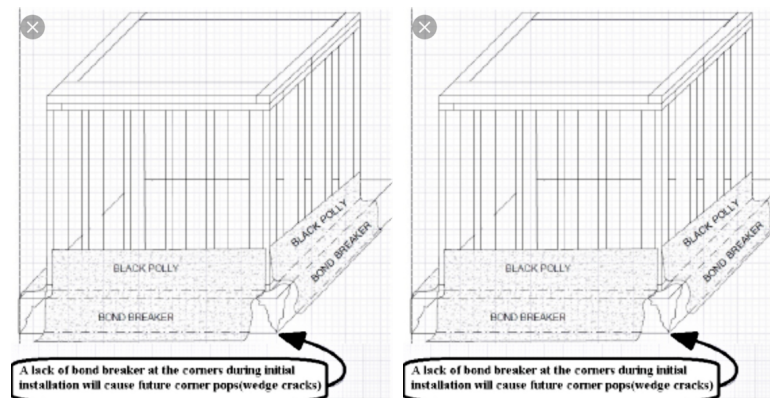
#### 1: Corner pops

🟡 Minor or Cosmetic Deficiencies

right side

- 1 Corner pops were observed at the corner of the slab. Corner pops on the slab are cosmetic in nature and Not a sign of foundation problems.

Recommendation: Contact a qualified professional.





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## 2: Mortar touchups

🟡Minor or Cosmetic Deficiencies

right side & left side

- Mortar improvements are recommended for the masonry veneer.

Recommendation: Contact a qualified masonry professional.



## 3: Masonry Crack or damage

🟡Minor or Cosmetic Deficiencies

right side

- Brick and or mortar cracks were observed at the property. The crack should be repaired by a qualified mason.

Recommendation: Contact a qualified masonry professional.





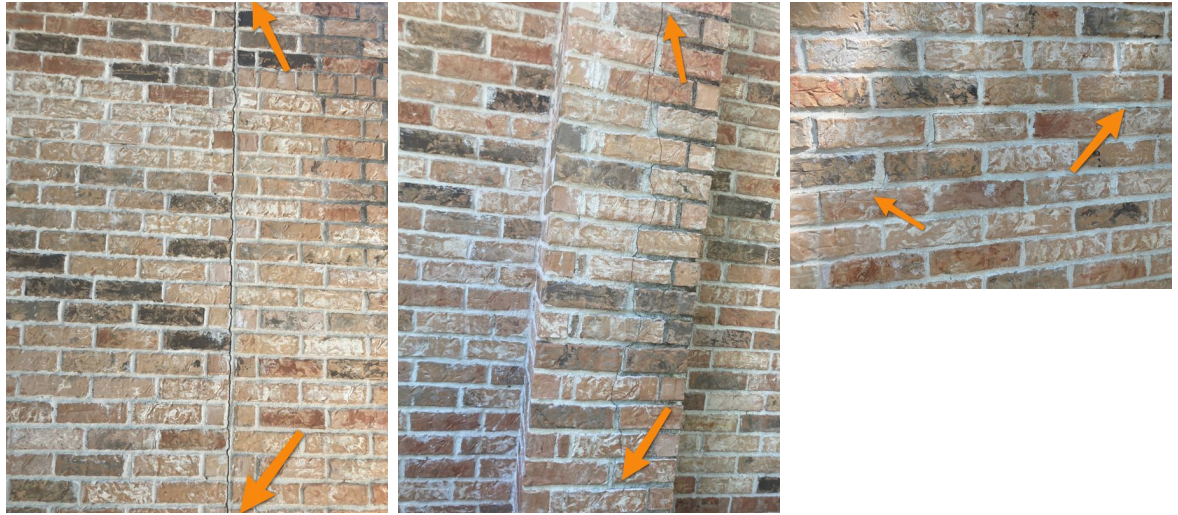
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#### 4: Garage Door Sags

⚠️ Minor or Cosmetic Deficiencies

- Some sagging of the garage brick / lintel was observed. This condition should be further evaluated and corrected as necessary.

Recommendation: Contact a qualified professional engineer



#### 5: Seal Expansion Joints

⚠️ Minor or Cosmetic Deficiencies

right side

- The wall expansion joint(s) need to be properly sealed or resealed as necessary. It is recommended to use a good exterior caulking.

Recommendation: Contact a qualified handyman.

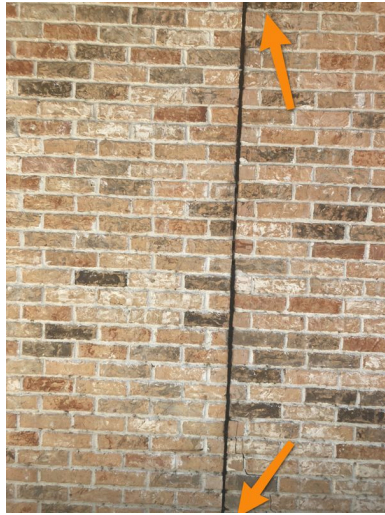
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#### 6: Rusted Lintel

🟡 Minor or Cosmetic Deficiencies

- Lintels above one or more exterior doors or windows were visibly rusted at the time of the inspection. Rust should be cleaned off and the lintels painted as part of normal home maintenance.

Recommendation: Contact a handyman or DIY project



#### 7: Paint exposed PVC

🟡 Minor or Cosmetic Deficiencies

- Exposed PVC drain pipes should be painted to help protect them from UV light.

Recommendation: Contact a qualified painting contractor.



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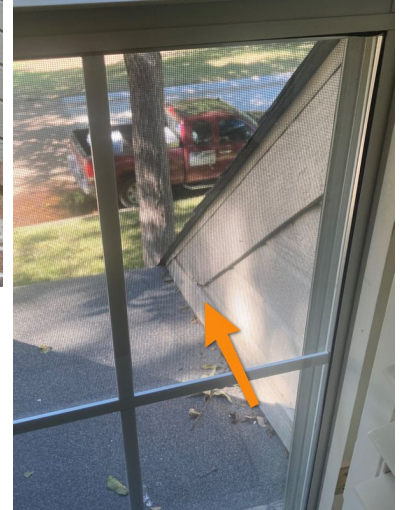
#### 8: Wood rot

⚠️Minor or Cosmetic Deficiencies

front & right side & left side

- Wood rot / deterioration was observed at the exterior of the home. All deteriorated or damaged wood should be replaced, resealed and properly painted with a sound coat of paint.

Recommendation: Contact a qualified professional.



#### 9: Trim bushes

⚠️Minor or Cosmetic Deficiencies

- Bushes and vines should be trimmed so they are not touching the home. Wood destroying insects and small pests like to climb bushes and vines to enter the home or climb on the home.

Recommendation: Contact a handyman or DIY project



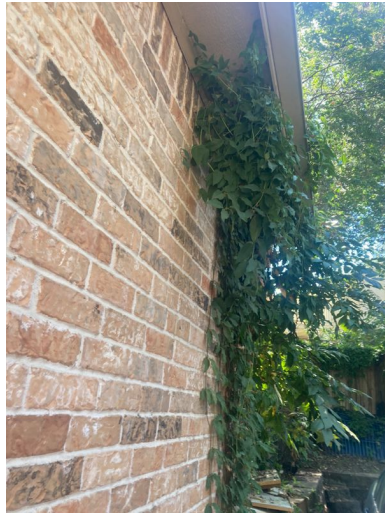
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#### 10: Seal exterior Interfaces

⚠️ Minor or Cosmetic Deficiencies

- The interfaces where the siding meets the brick or masonry veneer needs to be sealed with a good sealant. Interfaces between two types of exterior veneer also need to be sealed or touched up

Recommendation: Contact a handyman or DIY project



#### 11: Trim loose

⚠️ Minor or Cosmetic Deficiencies

Master Bath

Trim was observed to be loose from the windows at the time of inspection

Recommendation: Contact a qualified professional.



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☒ ☐ ☐ ☒ **F. Ceilings and Floors**

*Comments:*

*Floor Types:* Tile, Carpet, Wood

*Ceiling and Floor Limitations:*

Inspection of ceilings and floors focuses on structural performance and water penetration issues. The condition of surface finishes and cosmetic blemishes are not noted, except where they may contribute to or be symptomatic of other problems. Areas concealed within finished spaces are not accessible and are beyond the scope of an inspection. Home furnishings, artwork, personal items, etc. can obscure damage, water stains, previous repairs, etc., and prevent assessment in these areas.

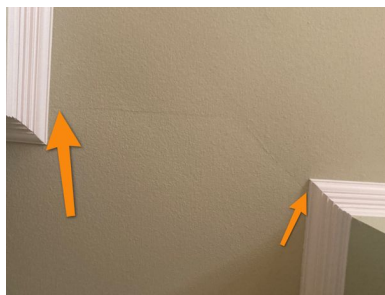
**1: Ceiling Cracks**

☹️ **Minor or Cosmetic Deficiencies**

Dining Room & Master Bedroom & 2nd floor Gameroom

Ceiling cracks were observed. It is recommended that the cracks be repaired.

Recommendation: Contact a qualified drywall contractor.



**2: Caulk crown moldings**

☹️ **Minor or Cosmetic Deficiencies**

kitchen & 2nd floor Bath

Caulking touch ups are needed at crown molding joints.

Recommendation: Contact a qualified painting contractor.

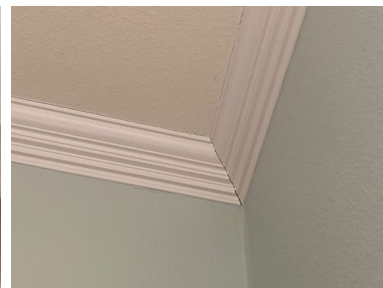
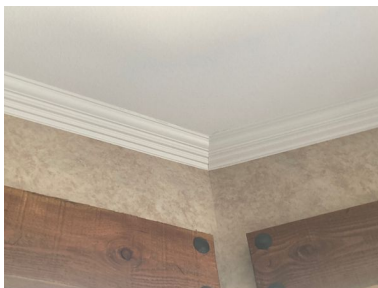
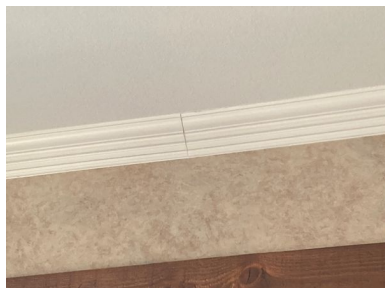
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☒ ☐ ☐ ☒ **G. Doors (Interior and Exterior)**

*Comments:*

*Method of Inspection:*

The interior and exterior doors are inspected for proper function including latches and locking mechanisms. Garage doors are inspected for proper operation.

**1: Door Not Latching**

🟡 Minor or Cosmetic Deficiencies

Master Bedroom & Master Closet & 2nd floor Bedroom Closet

Door(s) not latching properly.

Recommendation: Contact a qualified carpenter.

**2: Adjust bullets**

🟡 Minor or Cosmetic Deficiencies

Kitchen & Master Bath

The bullet catch assembly needs to be adjusted so the door opens and closes easily.

Recommendation: Contact a qualified professional.



**3: Not self Closing Svc door**

🟡 Minor or Cosmetic Deficiencies

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I	NI	NP	D
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The service door from the home to the garage was not self closing and latching at the time of inspection. Some cities have not adopted this code. I am required by TREC standards to mark this item deficient.

Recommendation: Contact a qualified professional.

#### 4: Seal Thresholds

⚠️Minor or Cosmetic Deficiencies

All exterior door thresholds should be sealed around edges.

Recommendation: Contact a qualified professional.



#### 5: Wood rot

⚠️Minor or Cosmetic Deficiencies

Exterior right & Exterior rear

Wood rot observed at one of the exterior doors. All deteriorated components should be replaced.

Recommendation: Contact a qualified professional.



#### 6: Bullets missing

⚠️Minor or Cosmetic Deficiencies

Master Bath

The bullets (ball bearings) were observed to be damaged or missing on the day of inspection and should be replaced as necessary.

Recommendation: Contact a qualified carpenter.

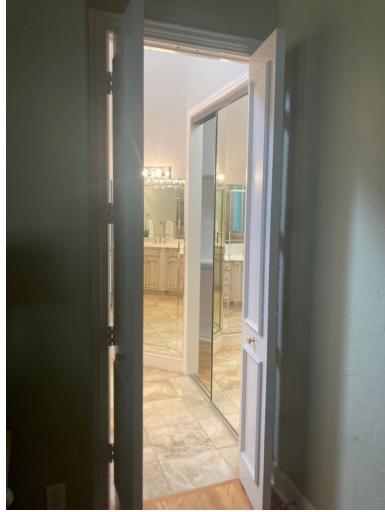
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☒ ☐ ☐ ☒ **H. Windows**

*Comments:*

*Method:*

Windows, where accessible, are inspected for proper function including latches and locking mechanisms. Broken panes, broken thermal seals, missing or damaged screens and caulking deficiencies are noted. Safety issues safety glass in required locations and egress issues in sleeping areas are noted.

*Window type aluminum:*

Double pane aluminum windows were observed at the time of inspection.

**1: Seal Security Contact**

🟡 Minor or Cosmetic Deficiencies

Master Bedroom

The security contacts in the base of the window frames need to be properly sealed so to help prevent possible water intrusion.

Recommendation: Contact a qualified professional.





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I	NI	NP	D
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## 2: No stay up

### ⚠️Essential Items (Licensed Professionals & Safety)

Master Bedroom

One or more of the window balancers are bad and the window will not stay up. The window needs to be adjusted for safety reasons.

Recommendation: Contact a qualified professional.



## 3: Fogged windows

### 🟡Minor or Cosmetic Deficiencies

Nook & Kitchen door & study & front hallway Bath

Some of the Windows were observed to have lost their seal or dogged at the time of inspection.

time of day, outside temperatures, sun position, dirty windows and solar screens can hinder the inspectors ability to find dogged windows.

Additional fogged Windows will most likely be found when the window glazer comes out to check all windows and deglaze the ones that are fogged.

Important: This is not likely all of the fogged windows. I did my best but I cant find them all for the reasons listed above.

Recommendation: Contact a qualified window repair/installation contractor.



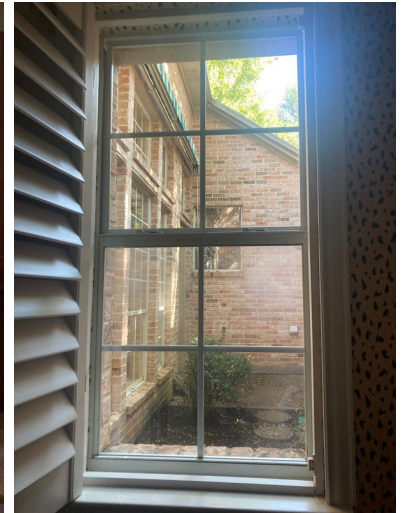
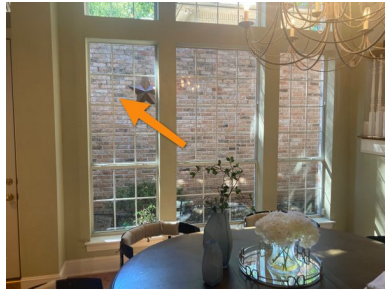
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#### 4: Caulking touchups are needed

Minor or Cosmetic Deficiencies

Caulking touch ups are needed around the windows of the home inside and outside.

Recommendation: Contact a handyman or DIY project



#### ☒ ☐ ☐ ☒ I. Stairways (Interior and Exterior)

*Comments:*

*Method:*

The inspection of the stairways is a visual observation of the required component's and focuses on handrails, spindles, railings, and guards etc. The inspector does not exhaustively measure every stairway component.

*Stairway OK:*

The stairway was inspected and appeared to be in satisfactory condition at the time of inspection.

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I NI NP D



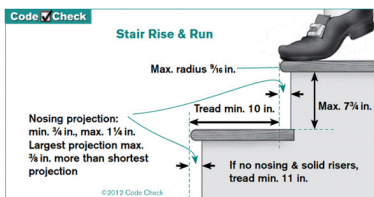
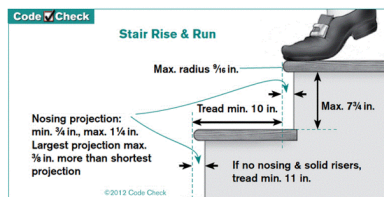
### 1: Risers Uneven

Minor or Cosmetic Deficiencies

The difference between the tallest and shortest stair riser should be no greater than 3/8". This condition should be reviewed and corrected as necessary.

Steps are also supposed to be no more than 7 3/4" in height.

Recommendation: Contact a qualified handyman.



☒ ☐ ☐ ☒

### J. Fireplaces and Chimneys

Comments:

Pic during operation:

Picture of the gas kit during operation.



General:



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Examination of concealed or inaccessible portions of the chimney is beyond the scope of our inspection. We do not perform draft or smoke tests. If further review is desired, we recommend consulting with a qualified chimney sweep.

### 1: Short cycling

🟡Minor or Cosmetic Deficiencies

The fireplace was observed to be short cycling it would come on and then you off and come on and then go off. This condition should be corrected by a fireplace professional.

Recommendation: Contact a qualified chimney contractor.

## ☒ ☐ ☐ ☒ K. Porches, Balconies, Decks, and Carports

Comments:

Method:

- Porches, decks, driveways and carport's are visually inspected for structural defects and safety related deficiencies (e.g. cracks, trip hazards, negative slope towards the structure, differential movement, etc.).

### 1: Step Tread Loose

🟡Minor or Cosmetic Deficiencies

- The stairway treads were observed to be loose in one or more locations and need to be re-secured for safety reasons.

Recommendation: Contact a handyman or DIY project



### 2: Sidewalk Cracks Trip hazard

🔴Essential Items (Licensed Professionals & Safety)

The sidewalk was observed to have cracks. Any areas where the cracks present a trip hazard should be replaced for safety reasons.

Recommendation: Contact a qualified concrete contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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### 3: Trip Hazard

▲Essential Items (Licensed Professionals & Safety)

Some of the front sidewalks are uneven. This condition presents a possible trip hazard or hazards to people entering or leaving.

Recommendation: Contact a qualified concrete contractor.



### 4: Loose handrail

▲Essential Items (Licensed Professionals & Safety)

front patio

The balcony handrail was loose and should be better secured.

Recommendation: Contact a qualified carpenter.

### 5: Broken step

●Minor or Cosmetic Deficiencies

A masonry step is damaged and should be repaired as necessary.

Recommendation: Contact a qualified masonry professional.



### 6: Mortar touchups

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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⚠ Minor or Cosmetic Deficiencies

Mortar touchups are needed at the porch area.

Recommendation: Contact a qualified masonry professional.





**I=Inspected****NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

## II. ELECTRICAL SYSTEMS

### *Overview:*

A typical electrical system consists of two distinct components (1) The electric service entrance (e.g. underground or overhead). Underground the conductors are underground and are not visible for observation. Overhead service comes in from the utility pole to a service mast and down to the electrical meter. (2) Service Panel. The service panel determines the capacity of the electric power to the home. The circuits within the service panel distribute the power throughout the home.

### *Pictures Electrical Meters:*

Pictures of the electrical meters for reference.



### *General:*

Inspection of the electrical service system is limited to visible and accessible components of the entrance cables, meter box, service panel and the visible portions of the wiring. The majority of the electrical system is concealed behind walls and ceilings and conditions relating to these inaccessible areas can not be determined. Whenever possible, the dead front cover for the service panel will be removed to investigate the condition of the wiring and circuits. While some deficiencies in an electrical system may be apparent, not all conditions that can lead to an interruption of electrical service, or that may be hazardous, can be identified through a visual inspection. No assessment as to the adequacy of the service capacity relative to current or future consumption is performed. Inspector is seldom able to locate/identify proper grounding and/or bonding. If buyer desires more information, further evaluation by a licensed electrician is advised.

☒ ☐ ☐ ☒ **B. Service Entrance and Panels**

### *Comments:*

*Electric Panel Rating:* 200, Copper service conductors

*Electric Panel location:* Exterior

*3 Pics for Reference:.*

- Picture of the panel with the cover on for reference.
- Picture of the electrical service panel with the cover removed for reference.
- I checked the electrical service panel with an IR (InfraRed) camera looking for any overheating components in the panel.

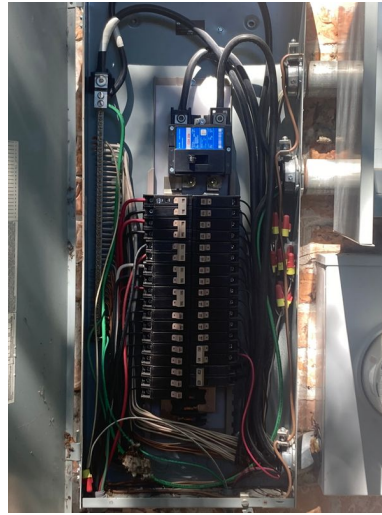
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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*General:*

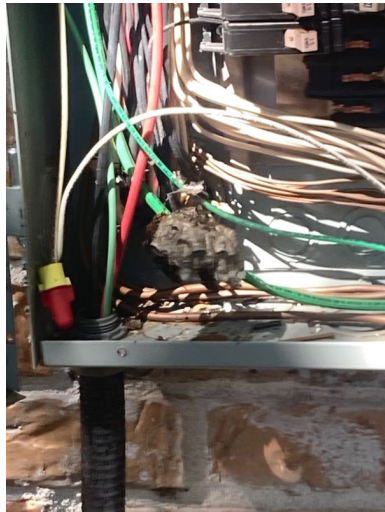
Not all electrical components are visible to the inspector. The inspector will report deficiencies that are visible at the time of the inspection. If deficiencies are noted, or if there are any questions or concerns you are advised to have a licensed electrician fully evaluate the homes electrical system prior to the expiration of any warranty or option period.

**1: Wasp**

⚠ Minor or Cosmetic Deficiencies

Wasp were observed inside the service panel at the time of inspection. it is recommended that they be removed.

Recommendation: Contact a qualified professional.



☒ ☐ ☐ ☒ **C. Branch Circuits, Connected Devices, and Fixtures**

**I=Inspected****NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D***Type of Wiring:* Copper*Comments:**3 prong Dryer:*

The buyer should be aware that the dryer vent plug is a 3 prong style. If the buyers dryer has a 4 prong pig tail the plug will need to be replaced with a 4 prong outlet.

*General:*

Electrical devices in a home typically use either 120 or 240 volt electricity. General purpose circuits (lighting, receptacles, fans, etc.) require 120 volts. The major appliances such as clothes dryers, kitchen ranges, electric water heaters, air conditioners, and electric heating units require 240 volts. Inspection of the electrical distribution system is limited to the visible and accessible components of the distribution wiring, receptacles, switches and other connected devices. The majority of the electrical distribution system is concealed behind walls and ceilings and their conditions are not known. The lack of GFCI, protection in presently required locations regardless of the homes age are noted, as required by the Texas Real Estate Commission. Low voltage and ancillary electrical systems such as landscape lighting, generators, etc. are not inspected. Inspection of the doorbells and chimes is limited to testing the operation of the chimes and the physical condition, function, and installation of the doorbell button. Inspection and testing of Intercom systems are not included in this inspection.

In furnished homes all switches and receptacles may not be accessible for inspection or testing. Receptacles located in garage ceilings and exterior soffits are not individually tested.

*Low voltage X inspected:*

Inspection of low-voltage or decorative lighting lies beyond the scope of the General Home Inspection. You may wish to have the functionality of any such lighting demonstrated by the seller.

*Smoke Detectors:*

Smoke Detectors

Today's standards require smoke detectors in each bedroom and outside each separate sleeping area on every level of the structure. Smoke detectors should be located on the ceilings at least 18" away from the wall. (Smoke tends to mushroom upward, turning outward toward the center of the ceiling. To Fire Fighters this is known as the mushroom effect, which leaves a dead airspace 18" from a ceiling to a wall corner). Test all alarms weekly or monthly per manufacturers recommendations. Failure to test, repair defective or install absent alarms, detectors and other safety equipment immediately can result in serious injury or death. Initiate and practice plans of escape and protection for all occupants in case any emergency arises.



**I=Inspected****NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D**

Smoke detectors are tested using the manufacturer supplied test button only. This inspection does not include testing smoke detectors with actual smoke.

#### *Carbon Monoxide Alarms:*

##### Carbon Monoxide Alarms

Smoke is heated and rises, thus smoke detectors are placed on the ceiling. Carbon Monoxide, on the other hand, mixes with our air, and stays closer to the ground. For this reason it is advised that CO detectors should be mounted at Knee Height (nose level for the average person sleeping). The Center for Disease Control (CDC) recommends replacing CO alarms every 5 years. Carbon Monoxide Alarms are tested with the manufacturer test button only.

#### *Unable to determine switch operation:*

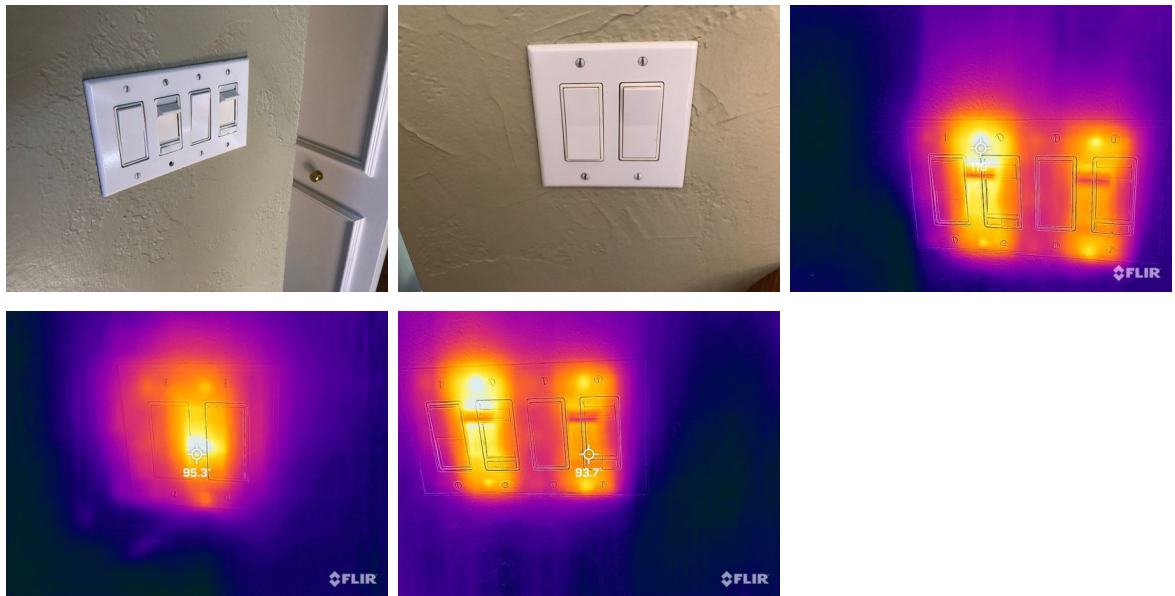
I was unable to determine the operation end of one or more of the switches.

### **1: Hot or Warm Switches**

#### **⚠ Essential Items (Licensed Professionals & Safety)**

Switches were observed to be hotter than expected. This could indicate that there are loose connections. It is advised that this condition be further investigated and resolved as necessary.

Recommendation: Contact a qualified electrical contractor.



### **2: GFCI did Not Trip**

#### **⚠ Essential Items (Licensed Professionals & Safety)**

##### Master Bath

One or more of the ground fault circuit interrupter (GFCI) devices does not appear to be functioning properly at the time of this inspection. It did not trip when the test button on the plug tester was pressed.

Recommendation: Contact a qualified electrical contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

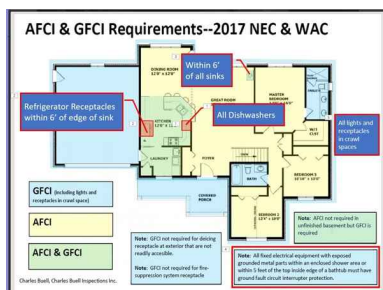


### 3: Not all Laundry outlets GFCI protected

⚠️Essential Items (Licensed Professionals & Safety)

Not all of the Laundry room outlets were GFCI protected.

Recommendation: Contact a qualified electrical contractor.



### 4: Missing / damaged cover plate

🟡Minor or Cosmetic Deficiencies

Garage & Master Closet

One or more of the receptacles was noted to have missing or damaged cover plate.

Recommendation: Contact a qualified electrical contractor.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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#### 5: Loose outlets

##### ⚠️Essential Items (Licensed Professionals & Safety)

front entry & 2nd floor Bedroom & 2nd floor

One or more of the receptacles were observed to be loose at the wall mount. Some were excessively loose and should be re-secured for safety reasons.

Recommendation: Contact a qualified electrical contractor.

---

#### 6: Closet light no cover

##### ⚠️Essential Items (Licensed Professionals & Safety)

One or more of the closet light fixtures appear to be installed without globes and/or covers. Safety precautions should be taken around these light fixtures. This is an as built condition however we are required by TREC to note this as a deficiency.

Recommendation: Contact a handyman or DIY project

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#### 7: Fan out of balance

##### 🟡Minor or Cosmetic Deficiencies

Exterior rear & Living Room

The ceiling fan is not balanced properly and wobbles when operated.

Recommendation: Contact a qualified handyman.

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**I=Inspected****NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D****8: Fan not working****Minor or Cosmetic Deficiencies**

Master Bedroom

The ceiling fan appears to be inoperative

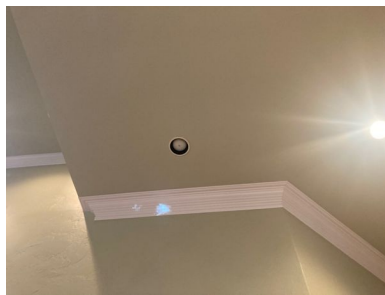
Recommendation: Contact a handyman or DIY project

**9: Bulb?****Minor or Cosmetic Deficiencies**

front entry

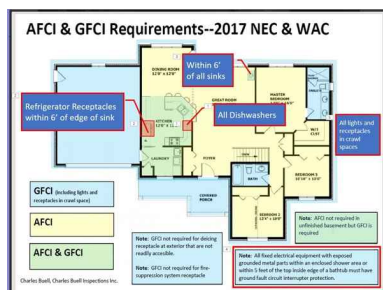
One or more of the light fixtures appear to be inoperative. This may be due to a bad bulb or some other unknown condition. This condition should be further evaluated and corrected as necessary.

Recommendation: Recommended DIY Project

**10: Not all Kitchen GFCI****Essential Items (Licensed Professionals & Safety)**

All kitchen counter top outlets, island outlets, outlets within 6 feet of the sink and outlets under the sink are required to be GFCI protected. Not all of the kitchen outlets were GFCI protected at the time of this inspection.

Recommendation: Contact a qualified electrical contractor.

**11: Switch No Op End****Essential Items (Licensed Professionals & Safety)**

Laundry

One of the switches were observed to have no noticeable operational end.

Recommendation: Contact a qualified electrical contractor.

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

I	NI	NP	D
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☐ ☐ ☒ ☐ **D. Other**

*Comments:*

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

#### *HVAC Inspection:*

- Any HVAC (Heating Ventilation Air Conditioning) deficiencies listed below in this section should be further evaluated corrected as necessary by a Licensed HVAC technician.

#### *Inspection Method:*

This inspection is a visual observation of components present at the time of the inspection. We do not dismantle components. Current day heat exchangers are sealed units and are not visible for inspection. Heat Pumps are not operated when outdoor temperatures are above 60 degrees due to damage that may occur to the heat pump system

#### ☒ ☐ ☐ ☐ **B. Heating Equipment**

*Type of System & Energy Source:* Forced Air, Gas

*Comments:*

- Any Heating deficiencies listed below in this section should be further evaluated corrected as necessary by a Licensed HVAC technician.

*(GAS) PICS of Furnace, Comb Chamber:* Downstairs unit -

- Picture of the furnace/heater for reference.
- Picture of the combustion chamber during operation.



*(GAS) PICS of Furnace, Comb Chamber:* Upstairs unit -

- Picture of the furnace/heater for reference.
- Picture of the combustion chamber during operation.



*Performing OK:*



I=Inspected

NI=Not Inspected

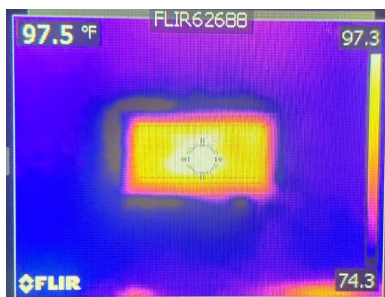
NP=Not Present

D=Deficient

I NI NP D

- The furnace or furnaces were tested and appeared to be performing properly at the time of inspection.

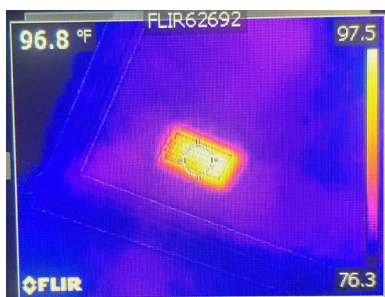
2nd floor



Performing OK:

- The furnace or furnaces were tested and appeared to be performing properly at the time of inspection.

1st floor



☒ ☐ ☐ ☒

### C. Cooling Equipment

*Type of System:* Central Cooling System

*Comments:*

- Any AC (Air Conditioning) deficiencies listed below in this section should be further evaluated corrected as necessary by a Licensed HVAC technician.
- The cooling equipment is inspected for correct installation of the indoor and outdoor units and clearances as required. A Delta-T (temperature differential of supply and return air) is measured and noted.
- Temperature differential readings are a fundamental standard for testing the proper operation of the cooling system. The normal acceptable range is considered approximately between 15 to 23 degrees F. total difference between the return air and supply air. Unusual conditions such as excessive humidity, low outdoor temperatures, and restricted airflow may indicate abnormal operation even through the equipment is functioning basically as designed and occasionally may indicate normal operation in spite of an equipment malfunction.

**Note:** When D (D = Deficient) is checked, that indicates that the HVAC system does not appear to be performing as intended. The observations made to support the rendering of this opinion are listed in this report. This list should not be considered an all inclusive list of deficiencies. You are advised to have a fully qualified and licensed HVAC service provider perform a full evaluation of this HVAC system equipment and repair any and all deficiencies that are found prior to the expiration of any warranty or option period .

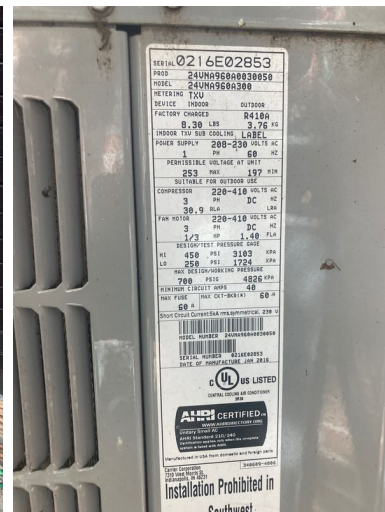
*Inside & Outside units :* Manufacturers Year, Refrigerant Type, System Size, Temperature Differentials, Recommended Breaker Size, Upstairs, Carrier, 2016, R410, 3 TON, 25 AMP, 40 AMP, Temp Drop 16 degrees -



I	NI	NP	D
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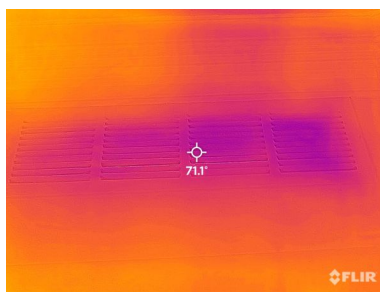


### AMP draw in Cooling Mode



- Image taken of the supply and return air with the IR camera of the HVAC grills during operation of the cooling system.

## Supply



Return

- Image taken of the supply and return air with the IR camera of the HVAC grills during operation of the cooling system.

1st floor



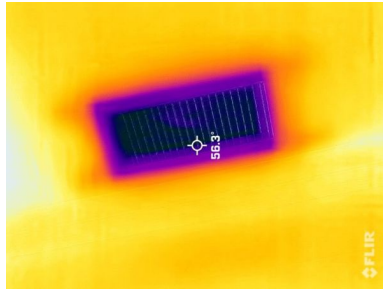
I=Inspected

NI=Not Inspected

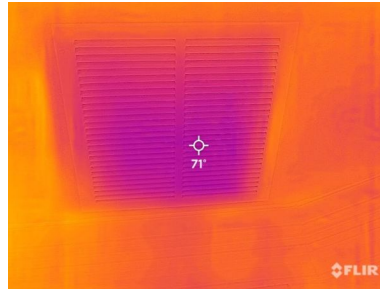
NP=Not Present

D=Deficient

I	NI	NP	D
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1st floor Supply



1st floor Return

*Performing OK:*

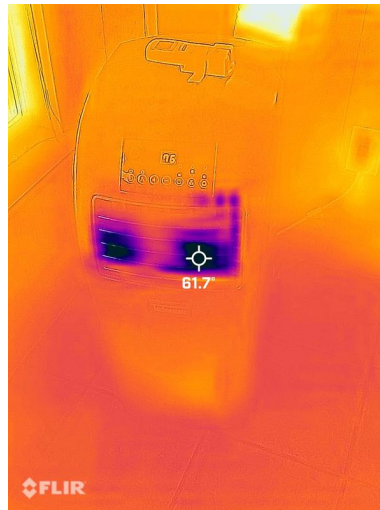
- The cooling system appeared to be cooling properly at the time of inspection.

1st floor 2nd floor

*Performing OK:*

- The cooling system appeared to be cooling properly at the time of inspection.

2nd floor sunroom



### 1: Rusty pan

**⚠️ Essential Items (Licensed Professionals & Safety)**

Downstairs unit

- The auxiliary/secondary drain pan under the coil housing has some water staining and/or a rust build-up. It is recommended that the pan be replaced by a licensed HVAC technician.

Recommendation: Recommend monitoring.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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☒ ☐ ☐ ☒ **D. Duct Systems, Chases, and Vents**

*Comments:*

- Any ductwork deficiencies listed below in this section should be further evaluated corrected as necessary by a Licensed HVAC technician.

*Picture of the Filter(s):*

- Picture(s) of the HVAC filter(s) for reference. **FYI: 1 inch filters should be changed Every month and 4 inch filters should be changed every three months as part of regular home maintenance.**



*Ductwork ok:*

- All visible ducts appeared to be in satisfactory condition at the time of this inspection.



*General:*

- Some of the duct work is in areas of the attic that are not readily accessible. Not all of the duct work is visible. Some duct work, by design, is hidden in the walls and ceilings. Only visible ductwork is inspected.

**1: Dirty Filters**

⚠️ Minor or Cosmetic Deficiencies

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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- The filters were dirty at the time of inspection and should be replaced as necessary. **1 inch filters** should be replaced **monthly** and **4 inch filters** should be replaced **every 4 months**.

Recommendation: Contact a handyman or DIY project



☐ ☐ ☒ ☐ **E. Other**  
*Comments:*

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

#### IV. PLUMBING SYSTEMS

*Location of Water Meter:* The front yard -

- I observed the water meter for some time looking for signs of a leak.

*Location of Customer Shutoff Valve :* In the front yard -

- The home inspector does not attempt to operate the customer shutoff valve. Operating a water valve that has not been used in a long time can cause the valve to leak.

*Static Water Pressure:* 60-70 -

FYI: Water pressure can fluctuate from day to day and change with seasons! Normal operating range for water pressure is from 40 PSI to 80 PSI.

*Comments:*

- Any Plumbing deficiencies listed below in this section should be further evaluated corrected as necessary by a Licensed Plumber.
- The sink drains were tested in every wet area with a sink Any leaks or improper installations will be listed below. The tubs were partially filled and the drains were tested in all areas with tubs any slow draining tubs will be listed below in the drains section of the report.

*PICS Water Pressure, (meter or well equipment) & Customer Shutoff:*

- Picture of the pressure gauge at the time of inspection.
- Picture of the water meter at the time of inspection. (Or well equipment)
- Picture of the customer shutoff valve (If visible).



*General:*

- Laundry connection faucets and drains are visually inspected only. The laundry faucets are not operated due to the damage that may occur during testing.
- The refrigerator water supply line and valve are not inspected. If the inspector finds the water supply valve shutoff to any appliance, no attempt is made to turn the supply on.
- The hot & cold water valves are NOT tested underneath sinks or commodes in the home. Testing shutoff valves can often times cause them to leak.

☒ ☐ ☐ ☒ **B. Plumbing Supply, Distribution Systems, and Fixtures**

*Comments:*



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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*Sinks OK:*

The sinks were filled with water and drained. The hot and cold orientation was checked and the faucets were checked to make sure they are securely mounted.

Kitchen & Master Bath & front hallway Bath & 2nd floor Bath

*Tubs OK:*

The tubs were filled partially with water and drained. The tub appeared to be working properly at the time of inspection.

Master Bath & 2nd floor Bath

*Showers OK:*

The showers were tested and appeared to be working properly at the time of inspection.

Master Bath & front hallway Bath & Bath

*Commodes OK:*

The commodes were found to be securely mounted to the floor at the time of inspection. The commodes were also flushed three times and found to operate properly.

Master Bath & front hallway Bath & 2nd floor Bath

*Type of Supply Piping Material:* Coper

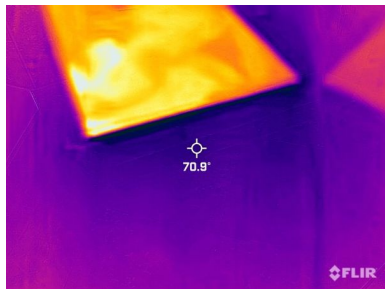
*Pic of the laundry connections:*

- Picture of the laundry room washer box connections. No rust or leaks were found at the time of this inspection.



*IR tested shower OK:*

- The shower drain was blocked and about of water was held in the pan area for a period of time to see if the shower pan leaked. I checked the outside edges of the shower pan with the IR camera and with my eyes for leaks and found No leaks at the time of this inspection. It is important to maintain the grout and caulking in shower enclosures to help prevent leaks. Cleaning products that contain bleach can cause deterioration of caulking.



*IR tested shower OK:*

I=Inspected

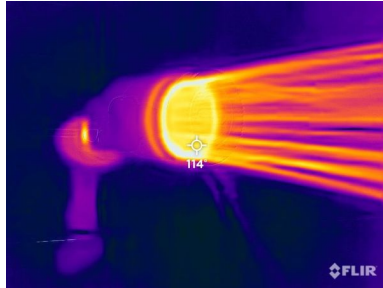
NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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- The shower drain was blocked and about of water was held in the pan area for a period of time to see if the shower pan leaked. I checked the outside edges of the shower pan with the IR camera and with my eyes for leaks and found No leaks at the time of this inspection. [It is important to maintain the grout and caulking in shower enclosures to help prevent leaks. Cleaning products that contain bleach can cause deterioration of caulking.](#)



### 1: Seal tub spout, controls and showerhead

Minor or Cosmetic Deficiencies

2nd floor Bath

- Tub spout should be sealed to avoid water intrusion in the wall. [FYI: Cleaning products that contain bleach can cause deterioration of caulking.](#)

Recommendation: Contact a handyman or DIY project



### 2: Surface damage

Minor or Cosmetic Deficiencies

- Bathtub has some surface damage and should be repaired as necessary.

Recommendation: Contact a qualified professional.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

### 3: Leaks into cabinet

▲Essential Items (Licensed Professionals & Safety)

Master Bath

- The faucet assembly was observed to leak water into the cabinet when operated and should be repaired or replaced by a licensed plumber. Any water damage to the cabinet should be repaired or replaced as necessary by a qualified contractor.

Recommendation: Contact a qualified plumbing contractor.

### 4: Seal around sink

●Minor or Cosmetic Deficiencies

The sink needs to be resealed to the countertop.

Recommendation: Contact a handyman or DIY project

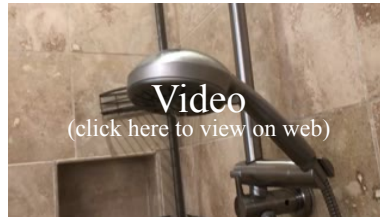


### 5: Low pressure Shower (hot & cold)

▲Essential Items (Licensed Professionals & Safety)

Low water pressure was observed at the shower.

Recommendation: Contact a qualified plumbing contractor.



☒ ☐ ☐ ☒

### C. Drains, Wastes, and Vents

Type of Drain Piping Material: PVC

Comments:

- Plumbing deficiencies listed below in this section should be further evaluated corrected as necessary by a Licensed Plumber.

Tub and washer:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

- Tub overflow drains are not inspected or tested. Showers were run for an extended period of time. The clothes washer drain line was not inspected or tested at the time of the inspection.

### 1: Missing Cap on cleanout

**▲Essential Items (Licensed Professionals & Safety)**

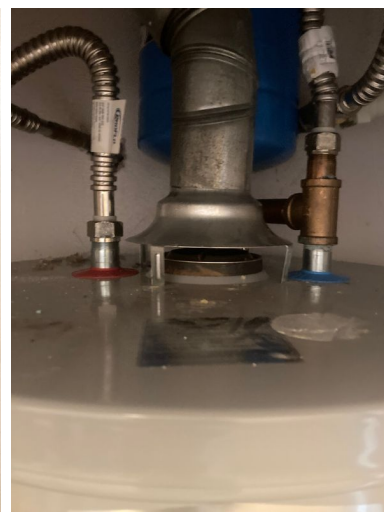
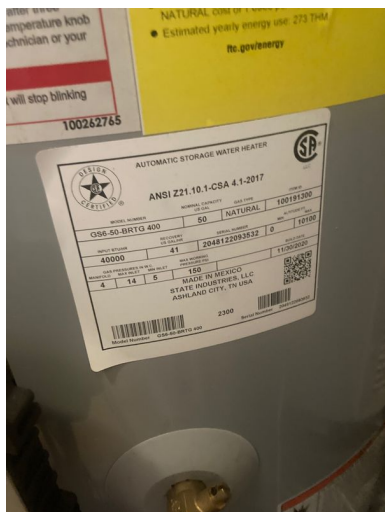
One or more of the drain line clean out caps was missing at the time of inspection.

Recommendation: Contact a qualified plumbing contractor.



### ☒ ☐ ☐ ☒ D. Water Heating Equipment

*Water Heater:* Energy Type:, Capacity:, Brand:, Manufacture Date:, Location, Max Energy rating:, Gas, State, 40000 BTU, 50 gallons, Manufacture year 2020, Located in Interior Closet



*Water Heater:* Energy Type:, Capacity:, Brand:, Manufacture Date:, Location, Max Energy rating:, Gas, 50 gallons, State, Manufactured 2021, Located in exterior closet, 40000 BTU

*Comments:*

*general:*

Water Heaters should be flushed every year or as recommended by the manufacturer to remove sediments that collect at the bottom of the tank. This can be accomplished by attaching a garden hose to the drain valve at the bottom of the heater, directing the discharge water to a safe location and turning the valve on. Caution should be observed as the water coming out will be very hot. The flush is complete when the water comes out clear.

The T & P Valve (Temperature & Pressure Release Valve) should be tested annually for reasons of safety.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D

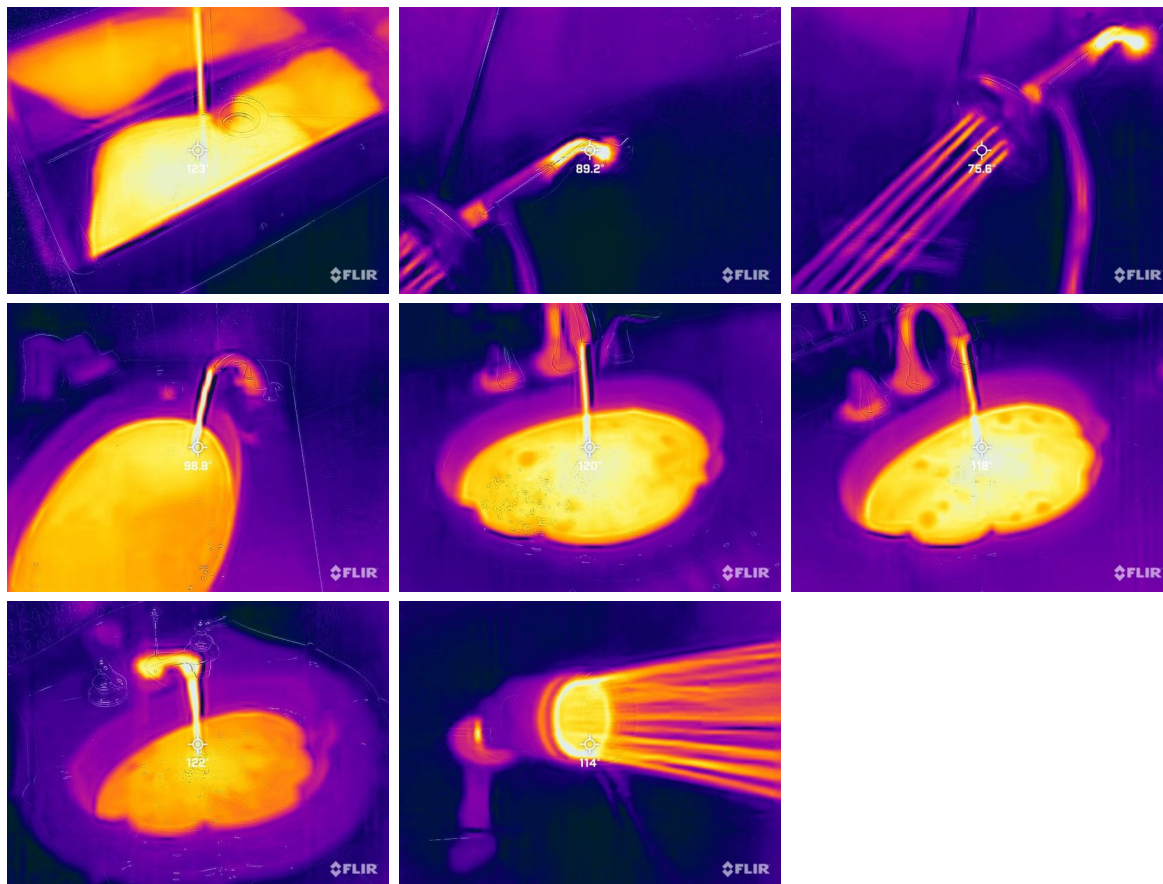
Follow the manufacturers instructions for testing procedures.

We highly recommend the use of a water alarm at the water heater. This alarm will sound at the presence of any water leaks and could help prevent major water intrusion events due to failure of the water heater. These units are available online or at major home improvement centers for about \$10 each.



*Working OK:*

- Pictures of the fixtures taken with an IR camera. The water heater appears to be heating properly at the time of this inspection.



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D=Deficient

I	NI	NP	D
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### 1: Drain pipe restricts door operation

**▲Essential Items (Licensed Professionals & Safety)**

The drain pipe for the emergency drain pan restricts the operation of the door.

Recommendation: Contact a qualified plumbing contractor.



### ☒ ☐ ☐ ☐ E. Hydro-Massage Therapy Equipment

*Comments:*

*Working OK:*

Picture of the hydrotherapy tub during operation. The jets appeared to be working properly at the time of inspection.



### ☒ ☐ ☐ ☒ G. Gas Distribution Systems and Gas Appliances

*Location of Gas Meter:* Exterior, Right side



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*Type of Gas Distribution Piping Material:* Steel Black Pipe

*Comments:*

**1: Rust**

➡Minor or Cosmetic Deficiencies

Should be cleaned off and the exterior gas pipes painted with a good exterior paint to help prevent further rusting and possible future leaks

Recommendation: Contact a qualified painting contractor.



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I	NI	NP	D
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## V. APPLIANCES

☒ ☐ ☐ ☐ **A. Dishwashers**

*Comments:*

*Brand:* Frigidaire

*Dishwasher working:*

Picture of the dishwasher for reference. The dishwasher appeared to be working at the time of inspection.



*Normal:*

The dishwasher is operated in the NORMAL mode.

☒ ☐ ☐ ☒ **B. Food Waste Disposers**

*Comments:*

The disposal was tested and appeared to be working properly at the time of this inspection.

*Disposal working OK:*

The disposal was tested and appeared to be working properly at the time of this inspection.



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**1: Inop**

⚠️ Minor or Cosmetic Deficiencies

Kitchen island

The food waste disposer is inoperative. Further evaluation and repair or replacement may be necessary.

Recommendation: Contact a handyman or DIY project



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**2: Not GFCI protected**

⚠️ Essential Items (Licensed Professionals & Safety)

The outlet for the disposal was tested and found to Not be GFCI protected at the time of inspection.

Recommendation: Contact a qualified electrical contractor.

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**3: Cabinet edge protection**

⚠️ Essential Items (Licensed Professionals & Safety)

Wires need protected from the sharp metal edges of the cabinet.

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I	NI	NP	D
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Recommendation: Contact a qualified electrical contractor.



☒ ☐ ☐ ☐ **C. Range Hood and Exhaust Systems**

*Comments:*

*Exhaust Hood Type:* Re-circulate

*Non-Vented OK:*

The vent installed at the time of inspection was a recirculating type (Non Vented) It appeared to be working ok at the time of inspection

*performance:*

Vents are operated with the switch. Actual performance level is not evaluated.

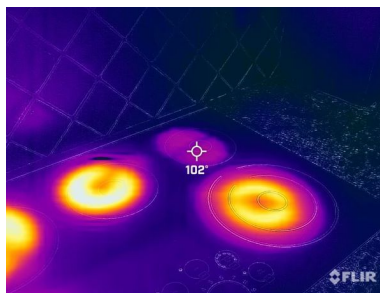
☒ ☐ ☐ ☒ **D. Ranges, Cooktops, and Ovens**

*Comments:*

*Range, Cook Top, Oven:* Cook Top, Oven

*Cooktop OK:*

The cooktop burners appeared to be performing properly at the time of this inspection.



*Oven OK:*

The oven was tested ant 350 degrees and appeared to be working properly at the time of inspection.



**I=Inspected****NI=Not Inspected****NP=Not Present****D=Deficient****I NI NP D***Downdraft disabled:*

The downdraft has been disabled or disconnected and is no longer in use.

**1: Conduit loose****▲Essential Items (Licensed Professionals & Safety)**

The electrician cal conduit was loose at the appliance and or junction box. The conduit should be better secured.

Recommendation: Contact a qualified electrical contractor.

☒ ☐ ☐ ☐ **E. Microwave Ovens***Comments:**Brand: Kenmore*☒ ☐ ☐ ☐ **F. Mechanical Exhaust Vents and Bathroom Heaters***Comments:**Bath exhaust OK:*

The bathroom exhaust fans were tested and performed ok at the time of inspection.

☒ ☐ ☐ ☐ **G. Garage Door Operators***Comments:*

\*The balance and operation of the garage door were tested and appeared to perform properly at the time of this inspection.

\*The garage door openers photo eye sensors were tested and appeared to be working properly at the time of this inspection.

\* The auto reverse safety feature was tested with hand pressure and found to be working properly at the time of this inspection.

*operation OK:*

The operation of the door was tested and performed OK on the day of inspection.

*Photo eyes OK:*

The photo eyes were tested and performed ok at the time of inspection

*Hand pressure OK:*

The obstruction safety feature was tested by applying hand pressure when the door was in downward motion. The door was observed to reverse properly when instructed at the time of this inspection.

*Balance OK:*

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I	NI	NP	D
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the balance of the garage door or doors were checked by opening half way and seeing if they stayed in that position. The doors appeared to be properly balanced at the time of inspection.

*Close pressure:*

The close pressure sensor was not tested due to the high probability of damage occurring during this test process.

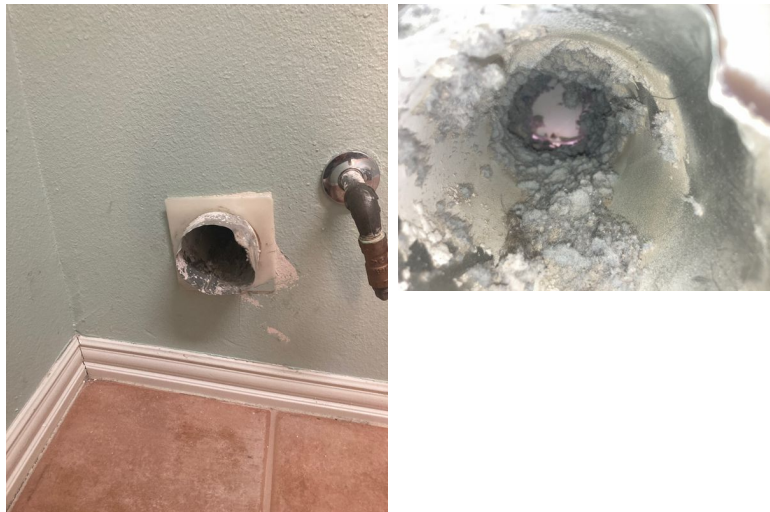
☒ ☐ ☐ ☒ **H. Dryer Exhaust Systems**

*Comments:*

- Any deficiencies listed below in this section should be further evaluated corrected as necessary by a contractor qualified to install, service & clean dryer vents.

*Picture of the dryer vent:*

Picture of the dryer vent for reference



**1: Needs Cleaned**

**⚠️Essential Items (Licensed Professionals & Safety)**

- The visible portion of the dryer duct was observed to be dirty with lint and debris. The inside of the dryer vent should be cleaned before use. Dryer vents should be cleaned regularly as part of normal home maintenance as often as necessary depending on use for reasons of energy efficiency and **fire safety**.

Recommendation: Contact a qualified professional.





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<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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I NI NP D

## VI. OPTIONAL SYSTEMS

### ☒ ☐ ☐ ☒ B. Landscape Irrigation (Sprinkler) Systems

*Comments:*

*Burried water lines:*

Some zones of the sprinkler system have buried drip lines that cannot be seen. It is difficult to tell when this type of system has a problem unless the foliage starts to die.



*Pics during operation:*

Pictures of the sprinklers during operation.





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*Pic of double check & controller :*

Picture of double check and sprinkler controller for reference.



### 1: Exposed water lines

⚠️ Minor or Cosmetic Deficiencies

Drip irrigation lines were exposed and should be covered or reburied as necessary.

Recommendation: Contact a qualified professional.



### 2: Double Check Valves handles rusted

⚠️ Minor or Cosmetic Deficiencies

The double check valves were rusted and should be replaced or cleaned of rust and painted to prevent further corrosion. Lowering the soil level could also help prevent moisture damage.

Recommendation: Contact a handyman or DIY project

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<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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