



ACE-INSPECTION

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GENERAL HOME INSPECTION

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Ace Inspection

JULY 10, 2022



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SUMMARY



MAINTENANCE



REPAIRS



MATERIAL DEFECT

Summary Text (enter here)

- ⊖ 2.2.1 Roof - Roof Covering: Cracked Roof-Covering Material
- ⊖ 2.2.2 Roof - Roof Covering: Exposed Fasteners
- ⊖ 2.2.3 Roof - Roof Covering: Hail damage
- ⊖ 2.3.1 Roof - Flashing: Missing Flashing
- ⊖ 2.3.2 Roof - Flashing: Missing Kickout Flashing
- ⊖ 2.3.3 Roof - Flashing: Step flashing improperly installed
- ⊖ 2.6.1 Roof - Gutters & Downspouts: Gutter Fastening Defect
- 🔧 2.6.2 Roof - Gutters & Downspouts: Downspouts Drain Near House
- 🔧 2.6.3 Roof - Gutters & Downspouts: Downspout terminating onto roof covering
- ⊖ 3.2.1 Chimney, Fireplace, or Stove - Chimney: Chimney Flashing Defect
- 🔧 3.2.2 Chimney, Fireplace, or Stove - Chimney: Crowned Cap Defect
- ⊖ 3.3.1 Chimney, Fireplace, or Stove - Fireplace: Defect at Damper Door
- ⊖ 4.2.1 Exterior - Vegetation, Surface Drainage, Retaining Walls & Grading: Negative Grading
- 🔧 4.3.1 Exterior - Walkways & Driveways: Major Cracking at Walkway
- ⊖ 4.4.1 Exterior - Wall-Covering, Flashing & Trim: Caulking needed
- ⊖ 4.9.1 Exterior - Stairs, Steps, Stoops, Stairways & Ramps: Loose Handrail
- ⊖ 4.10.1 Exterior - Railings, Guards & Handrails: Handrail Not Graspable
- 🔧 5.4.1 Electrical - Panelboards & Breakers: Rust, Corrosion, Water Inside Cabinet
- 🔧 5.12.1 Electrical - Electrical Defects: Broken light fixture exterior
- ⊖ 5.12.2 Electrical - Electrical Defects: Missing junction box cover
- 🔧 10.2.1 Kitchen - Kitchen Sink: Defect at the Kitchen Sink
- ⊖ 11.5.1 Basement, Foundation, Crawlspace & Structure - Crawlspace: Improper Notch, Hole, or Cut
- 🔧 11.5.2 Basement, Foundation, Crawlspace & Structure - Crawlspace: Vapor barrier defect



11.6.1 [Basement, Foundation, Crawlspce & Structure - Insulation in Crawlspce: Insulation Hanging Loosely](#)



15.4.1 [Attached Garage - Ceiling, Walls & Doors: Door Was Not Self-Closing](#)

1: INSPECTION DETAIL

Information

| | | |
|--|--|---|
| General Inspection Information: Type of Building Single Family | General Inspection Information: In Attendance Client, Client's Agent | General Inspection Information: Occupancy Occupied, Furnished |
| General Inspection Information: Weather Conditions Sunny, Dry, Hot | | |

Inspection Note : Recommendations

Concerns noted within the report do not and cannot detail every eventuality that may result from the noted defect. Any and all items listed within the inspection Summary are recommended for further evaluations of the entire system and correction by a qualified professional prior to the close of the Inspection Contingency period. Do not attempt to complete corrections or repairs yourself unless you are fully qualified to do so safely and correctly.

Your Job As a Homeowner: What Really Matters in a Home Inspection

Now that you've bought your home and had your inspection, you may still have some questions about your new house and the items revealed in your report.

Home maintenance is a primary responsibility for every homeowner, whether you've lived in several homes of your own or have just purchased your first one. Staying on top of a seasonal home maintenance schedule is important, and Ace-Inspection can help you figure this out so that you never fall behind. Don't let minor maintenance and routine repairs turn into expensive disasters later due to neglect or simply because you aren't sure what needs to be done and when.

Your home inspection report is a great place to start. In addition to the written report, checklists, photos, and what the inspector said during the inspection not to mention the sellers disclosure and what you noticed yourself it's easy to become overwhelmed. However, it's likely that your inspection report included mostly maintenance recommendations, the life expectancy for the home's various systems and components, and minor imperfections. These are useful to know about.

But the issues that really matter fall into four categories:

1. major defects, such as a structural failure;
2. things that can lead to major defects, such as a small leak due to a defective roof flashing;
3. things that may hinder your ability to finance, legally occupy, or insure the home if not rectified immediately; and
4. safety hazards, such as an exposed, live buss bar at the electrical panel.

Anything in these categories should be addressed as soon as possible. Often, a serious problem can be corrected inexpensively to protect both life and property.

Most sellers are honest and are often surprised to learn of defects uncovered during an inspection. It's important to realize that sellers are under no obligation to repair everything mentioned in your inspection report. No house is perfect. Keep things in perspective as you move into your new home.

And remember that homeownership is both a joyful experience and an important responsibility, so be sure to call Ace-Inspection to help you devise an annual maintenance plan that will keep your family safe and your home in good condition for years to come.

Your Job As a Homeowner: Schedule a Home Maintenance Inspection

Even the most vigilant homeowner can, from time to time, miss small problems or forget about performing some routine home repairs and seasonal maintenance. That's why an Annual Home Maintenance Inspection will help you keep your home in good condition and prevent it from suffering serious, long-term and expensive damage from minor issues that should be addressed now.

The most important thing to understand as a new homeowner is that your house requires care and regular maintenance. As time goes on, parts of your house will wear out, break down, deteriorate, leak, or simply stop working. But none of these issues means that you will have a costly disaster on your hands if you're on top of home maintenance, and that includes hiring an expert once a year.

Just as you regularly maintain your vehicle, consider getting an Annual Home Maintenance Inspection as part of the cost of upkeep for your most valuable investment your home.

Ace-Inspection can show you what you should look for so that you can be an informed homeowner. Protect your family's health and safety, and enjoy your home for years to come by having an Annual Home Maintenance Inspection performed every year.

Schedule next year's maintenance inspection or your Eleven month Warranty Inspection with your home inspector today!

Details

Ace-Inspection \$25,000 Honor Guarantee!

InterNACHI will pay up to \$25,000 USD for the cost or replacement of personal property lost during an inspection and stolen by an InterNACHI-certified member who was convicted of or pleaded guilty to any criminal charge resulting from the member's taking of the client's personal property.

For details, please visit www.nachi.org/honor.

Details

If Ace-Inspection misses anything, We will buy your home back!

And now for the fine print:

- The home must be listed for sale with a licensed real estate agent.
- The Guarantee excludes homes with material defects not present at the time of the inspection, or not required to be inspected, per InterNACHI's Residential Standards of Practice.
- The Guarantee will be honored for 90 days after closing.
- We'll pay you whatever price you paid for the home.

For more information, please visit www.nachi.org/buy.

2: ROOF

Information

| | | |
|---|--|---|
| General: Roof Was Inspected From / With Drone | General: Roof- Type Description Gable Roof, Hip roof | General: Number of Roof Covering Layers 1 |
| General: Roof-Covering Description Asphalt | General: Roof-Covering Estimated Age 0-10 Years | Roof Covering: Inspected |
| Flashing: Inspected | Plumbing Vent Pipes: Inspected | Flue Gas Vent Pipes: Inspected |

Gutters & Downspouts: Inspected

General: Homeowner

Your job as the homeowner is to monitor the roof covering because any roof can leak. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters. Be sure that vent pipes do not get covered by debris or snow.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

Flashing helps the surface water on the roof to discharge into the gutter. Flashing also helps to prevent water intrusion under the roof-covering.

Gutters should be inspected periodically. Look for loose parts, sagging gutter ends, and water leaks. The rain water should be diverted far away from the house foundation and be free of debris. Monitoring the gutters during a heavy rain (without lightening) is recommended. In general, the gutters should catch rain water and direct the water towards downspouts that discharge the water away from the house foundation.

DWV (drain, waste and vent) pipes pass through the roof covering. There should be watertight flashing (often black rubber material) installed around the vent pipes. These plumbing vent pipes should extend far enough above the roof surface.

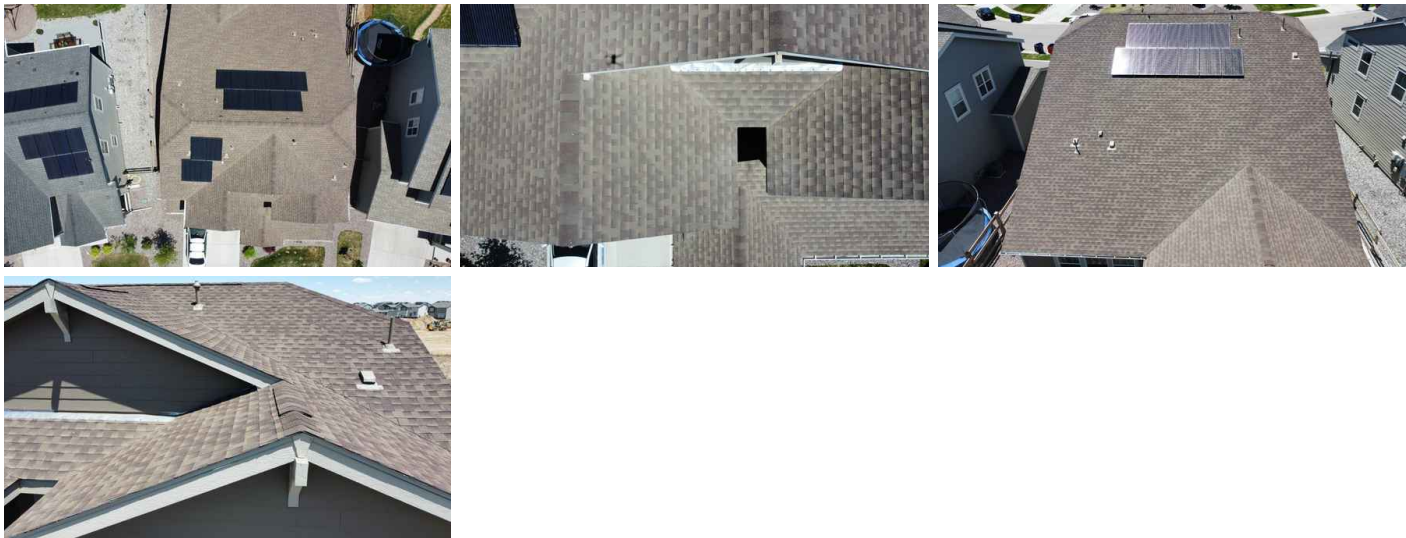
All gas-fired appliances must be connected to venting systems. There should be watertight metal flashing installed around the flue gas vent pipes. The vent pipes should extend far enough above the roof surface.

Every roof should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

We recommend that you ask the sellers to disclose information about the roof. Please ask the owner or seller about actual, documented age of the roof, its past performance, history of problems, and roof warranties. Include comprehensive roof coverage in your home insurance policy.

This inspection is not a guarantee that a roof leak in the future will not happen. Even a roof that appears to be in good, functional condition will leak under certain circumstances. We will not take responsibility for a roof leak that happens in the future. This is not a warranty or guarantee of the roof system.

General: General Photos



Limitations

Roof Covering

UNABLE TO SEE EVERYTHING

This is a visual-only inspection of the roof-covering materials. It does not include an inspection of the entire system. There are components of the roof that are not visible or accessible at all, including the underlayment, decking, fastening, flashing, age, shingle quality, manufacturer installation recommendations, etc.

Flashing

DIFFICULT TO SEE EVERY FLASHING

I attempted to inspect the flashing related to the vent pipes, wall intersections, eaves and gables, and the roof-covering materials. In general, there should be flashing installed in certain areas where the roof covering meets something else. Most flashing is not observable, because the flashing material itself is covered and hidden by the roof covering or other materials. So, it's impossible to see everything. A home inspection is a limited visual-only inspection. This is not an exhaustive inspection of all flashing areas.

Gutters & Downspouts

COULDN'T REACH THE GUTTERS

I was unable to closely reach and closely inspect the installation of all of the gutter components and systems.

Recommendations

2.2.1 Roof Covering

CRACKED ROOF-COVERING MATERIAL
SOUTH SIDE FRONT



Observed: Cracked and damaged shingles.

Concern: Prone to water intrusion and roof leaks.

Recommendation: Further evaluation and correction by a qualified roofing contractor or other qualified professional.

Recommendation

Contact a qualified roofing professional.



2.2.2 Roof Covering

EXPOSED FASTENERS

NORTH SIDE BACK

Observed: Indications of exposed fasteners at the roof-covering materials. Fasteners should not be exposed.

Concern: Prone to water intrusion and roof leaks.

Recommendation: Further evaluation and correction by a qualified roofing contractor or other qualified professional.

Recommendation

Contact a qualified roofing professional.



2.2.3 Roof Covering

HAIL DAMAGE

VARIOUS LOCATIONS ACROSS ROOF COVERING

Observed: Indications of hail damage to roof covering.

Concern: Potential performance issues to the rifting system, prone to leaking and water intrusion.

Recommendation: Further evaluation and correction by a roofing contractor or other qualified professional.

Recommendation

Contact a qualified professional.





2.3.1 Flashing

MISSING FLASHING

NORTH SIDE BACK

Observed: Areas where flashing was missing or Improper installation of flashing.

Concern: These areas of missing flashing are prone to water penetration. Flashing is installed to provide protection against roof leaks and to divert water away from certain areas.

Recommendation: Further evaluation and correction by a qualified roofing contractor or other qualified professional.

Recommendation

Contact a qualified roofing professional.



Repairs



2.3.2 Flashing

MISSING KICKOUT FLASHING

WEST SIDE

Observed: kickout flashing is missing. Not installed. A kickout flashing "kicks" the roof water away from the house structure and diverts it into a gutter.

Concern: This missing flashing could lead to hidden moisture intrusion and water damage issues that would not be observable during a visual-only home inspection.

Recommendation: Further evaluation and correction by a qualified roofing contractor or other qualified professional.

Recommendation

Contact a qualified roofing professional.



Repairs



2.3.3 Flashing

STEP FLASHING IMPROPERLY INSTALLED

EAST SIDE

Observed: Indications that the step flashing on may have been improperly installed.

Concern: Prone to water intrusion and leaking.

Recommendation: Further evaluation and correction by a roofing contractor or other qualified professional.

Recommendation

Contact a qualified professional.



2.6.1 Gutters & Downspouts

GUTTER FASTENING DEFECT

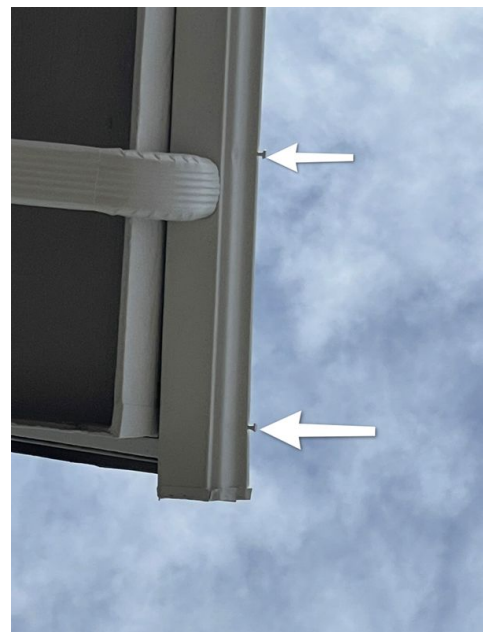
Observed: Indications of a defect at the gutter fastening.

Concern: Damaged gutters can cause excess water to leak or overflow and collect around the foundations of your home. If left unchecked, this excess water can cause cracks in the foundation. When your home's foundation is damaged it can lead to a structural damage to your home.

Recommendation: Further evaluation and correction by a qualified Gutter Contractor or other qualified professional.

Recommendation

Contact a qualified gutter contractor



2.6.2 Gutters & Downspouts



Maintenance

DOWNSPOUTS DRAIN NEAR HOUSE

Observed: One or more downspouts drain too close to the home's foundation.

Concern: This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Downspout extensions to drain at least 6 feet from the foundation.

Recommendation: This adjustment is typically easy to do yourself. If additional assistance is needed, Further evaluation and correction by a qualified Gutter Contractor or other qualified professional.

Recommendation

Recommended DIY Project



2.6.3 Gutters & Downspouts



Maintenance

DOWNSPOUT TERMINATING ONTO ROOF COVERING

Observed: Downspout Terminating onto the roof covering.

Concern: may cause accelerated deterioration of the roof covering material at the point of discharge and lead to water intrusion under the roof covering or into the structure.

Recommendation: Further evaluation and correction by a qualified Gutter Contractor or other qualified professional.

Recommendation

Contact a qualified professional.



3: CHIMNEY, FIREPLACE, OR STOVE

Information

General: Type of Fireplace
Masonry

General: Type of Chimney
Masonry

Chimney: Inspected

Fireplace: Inspected

General: Home Owner

Its your job as a homeowner to Have your Chimney inspected and cleaned annually by a chimney repair contractor or other qualified professional such a chimney sweep. Periodically check for creosote build up or any damage and deterioration to the chimney system.

General: General Photos



Limitations

Chimney
CHIMNEY INTERIOR IS BEYOND THE SCOPE

Inspecting the chimney interior and flue is beyond the scope of a home inspection. An inspector is not required to inspect the flue or vent system, and is not required to inspect the interior of chimneys or flues, fire doors or screens, seals or gaskets, or mantels. Out of courtesy only, the inspector may take a look at readily accessible and visible parts of the chimney flue.

Fireplace

FIREPLACE AND STACK INSPECTION LIMITATIONS

Not everything of the fireplace and chimney stack system and components are inspected because they are not part of the Home Inspection Standards of Practice. I inspected only what I am required to inspect and only what was visible during the home inspection. I recommend hiring a certified chimney sweep to inspect, sweep, and further evaluate the interior of the fireplace system immediately and every year as part of a homeowner's routine maintenance plan.

Fireplace

GAS INSERT - DID NOT INSPECT

I did not inspect the gas fireplace insert unit. This was beyond the scope of my home inspection. I recommend the homeowner or a professional Chimney Sweep inspect further and confirm it's safe operation and functionality.

Recommendations

3.2.1 Chimney

CHIMNEY FLASHING DEFECT

Observed: Defect at the chimney flashing.

Concern: This condition may cause water intrusion or leaks. May cause deterioration of the chimney system.

Recommendation: Further evaluation and correction by a qualified Chimney Repair contractor or other qualified professional.



Recommendation

Contact a qualified chimney contractor.

3.2.2 Chimney

CROWNED CAP DEFECT

Observed: Indications of a defect at the chimney crowned cap. This is the top of the chimney that is shaped or "crowned" to divert water away from the top of the chimney stack. (Cracking)

Concern: This condition may cause water intrusion or leaks. May cause deterioration of the chimney system.

Recommendation: Further evaluation and correction by a qualified Chimney Repair contractor or other qualified professional.



Recommendation

Contact a qualified chimney contractor.

3.3.1 Fireplace

**DEFECT AT DAMPER DOOR**

Observed: Defect at the fireplace damper door. The damper door should be removed or permanently secured open when a gas insert is installed into the fire place.

Concern: This is a fire hazard and potential safety risk of carbon monoxide build up in the home.

Recommendation: Further evaluation and correction by a qualified Chimney Repair contractor or other qualified professional.

Recommendation

Contact a qualified fireplace contractor.



4: EXTERIOR

Information

| | | |
|---|---|--|
| General: Type of Siding Stone Veneer, Engineered Wood | General: Style of Siding Shiplap | Vegetation, Surface Drainage, Retaining Walls & Grading: Inspected |
| Walkways & Driveways: Inspected | Wall-Covering, Flashing & Trim: Inspected | Exterior Doors: Inspected |
| Windows: Inspected | Exhaust Hoods: Inspected | Eaves, Soffits & Fascia: Inspected |
| Stairs, Steps, Stoops, Stairways & Ramps: Inspected | Railings, Guards & Handrails: Inspected | Porches, Patios, Decks & Balconies: Inspected |
| GFCIs: Inspected | | |

General: Homeowner

The exterior of your home is slowly deteriorating and aging. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the buildings exterior for its condition and weathertightness.

Check the condition of all exterior materials and look for developing patterns of damage or deterioration.

During a heavy rainstorm (without lightning), grab an umbrella and go outside. Walk around your house and look around at the roof and property. A rainstorm is the perfect time to see how the roof, downspouts and grading are performing. Observe the drainage patterns of your entire property, as well as the property of your neighbor. The ground around your house should slope away from all sides. Downspouts, surface gutters and drains should be directing water away from the foundation.

General: General Photos



Limitations

Wall-Covering, Flashing & Trim

INSPECTION WAS RESTRICTED

I did not inspect all of the exterior wall-covering material. A home inspection is not an exhaustive evaluation. My inspection of the exterior was limited. I did not reach and access closely every part of the exterior wall-covering.

Exterior Doors

INSPECTION WAS RESTRICTED

I did not inspect all of the exterior doors. A home inspection is not an exhaustive evaluation. My inspection of the exterior was limited. I did not reach and access closely every part of the Exterior Doors.

Windows

INSPECTION RESTRICTED

I did not inspect all windows. I did inspect a representative number of them. It's impossible to inspect every window component closely during a home inspection. A home inspection is not an exhaustive evaluation. I did not reach and access closely every window, particularly those above the first floor level.

Eaves, Soffits & Fascia

INSPECTION WAS RESTRICTED

I did not inspect all of the eaves, soffit, and fascia. It's impossible to inspect those areas closely during a home inspection. A home inspection is not an exhaustive evaluation. My inspection of the exterior was limited. I did not reach and access closely every part of the eaves, soffit, and fascia.

Recommendations

4.2.1 Vegetation, Surface Drainage, Retaining Walls & Grading

 Repairs

NEGATIVE GRADING

Observed: Grading is sloping towards the home in some areas. The ground around a house should slope away from all sides, ideally 6 inches for the first 10 feet from the house foundation perimeter. Downspouts, surface gutters and drains should also be directing water away from the foundation.

Concern: This could lead to water intrusion and foundation issues.

Recommendation: Further evaluation and correction by a qualified Landscape contractor or other qualified professional.

Recommendation

Contact a qualified landscaping contractor



4.3.1 Walkways & Driveways

MAJOR CRACKING AT WALKWAY

 Maintenance

Observed: Major cracking at the walkway.

Concern: Cracking in pavement can lead to water intrusion which may result in further deterioration of the system and heaving due to freeze thaw cycles. This also may be or become a trip hazard.

Recommendation: Further evaluation and correction by a qualified Concrete contractor or other qualified professional.

Recommendation

Contact a handyman or DIY project



4.4.1 Wall-Covering, Flashing & Trim

CAULKING NEEDED



Observed: At the time of inspection multiple locations were observed as in need of sealing and caulking.

Concern: Missing or deteriorated caulking could allow for water penetration or leaking.

Recommendation: Further evaluation and correction by a qualified General contractor or other qualified professional.

Recommendation

Contact a qualified professional.



4.9.1 Stairs, Steps, Stoops, Stairways & Ramps

LOOSE HANDRAIL



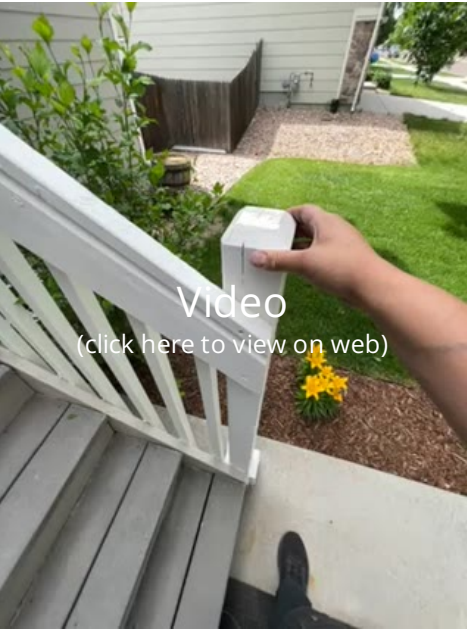
Observed: Loose handrail.

Concern: This condition is a safety hazard.

Recommendation: Further evaluation and correction by a qualified contractor or other qualified professional.

Recommendation

Contact a qualified professional.



Video
(click here to view on web)

4.10.1 Railings, Guards & Handrails
HANDRAIL NOT GRASPABLE

 Repairs

Observed: Handrail that is not graspable.
Concern: Potential safety risks.
Recommendation: Further evaluation and correction by a qualified contractor or other qualified professional.
Recommendation
Contact a qualified general contractor.



5: ELECTRICAL

Information

| | | |
|--|--|---|
| General: Electrical Service Conductors Below Ground, 220 Volts | General: Main Service Panel Location Right, Back | General: Panel Manufacturer General Electric |
| General: Main Service Panel Type Circuit Breaker | General: Main Service Panel Rating 225 AMP | General: Main Service Disconnect Location Outside of House |
| General: Branch Conductor Type Copper | General: Wiring Type NM-B (Romex) | Service Drop: Inspected |
| Electric Meter & Base: Inspected | Panelboards & Breakers: Main Panelboard & Breakers- Inspected | Panelboards & Breakers: Subpanel & Breakers- Inspected |
| Main Service Disconnect: Inspected | Service-Entrance Conductors: Inspected | Service Grounding & Bonding: Inspected |
| AFCIs: Inspected | GFCIs: Inspected | |

General: Homeowner

Your job as a homeowner is to ensure that you keep electrical systems safe! Ensure that we keep electrical system components dry. Ensure that we are not overloading the capacity components are rated for. Reduce these and other associated risks by limiting the use of extension cords and power strips and ensuring the use of components that are rated to be near or around water and that include appropriate safety components.

Know where the main electrical panel is located, including the main service disconnect that turns everything off.

Be sure to test your GFCIs, AFCIs, and smoke detectors regularly. You can replace light bulbs, but more than that, you ought to hire an electrician. Electrical work is hazardous and mistakes can be fatal. Hire a professional whenever there's an electrical problem in your house.

A GFCI trips power off at approx .005 amps within 1/40 of a second. A twenty amp breaker turns power off takes 20 amps. OUCH! Always use GFCI- protected circuits near water. A .005 amp is less likely to hurt you. A twenty amp chock will hurt you! It would be like lighting up 24 100 watt bulbs before the 20 amp breaker trips!

General: General Photos



Main Service disconnect

General: Data Photos



General: Main Service Disconnect Rating

200 Amps

I observed indications of the main service disconnect's amperage rating. It was labeled.

Presence of Smoke and CO Detectors: Inspected

I inspected for the presence of smoke and carbon-monoxide detectors.

There should be a smoke detector in every sleeping room, outside of every sleeping room, and one every level of a house.

Limitations

Presence of Smoke and CO Detectors

UNABLE TO TEST EVERY DETECTOR

I was unable to test every detector. We recommend testing all of the detectors. Ask the seller about the performance of the detectors and of any issues regarding them. We recommend replacing all of the detectors (smoke and carbon monoxide) with new ones just for peace of mind and for safety concerns.

Electrical Wiring

UNABLE TO INSPECT ALL OF THE WIRING

I was unable to inspect all of the electrical wiring. Obviously, most of the wiring is hidden from view within walls. Beyond the scope of a visual home inspection.

Service Grounding & Bonding

UNABLE TO CONFIRM PROPER GROUNDING AND BONDING

I was unable to confirm proper installation of the system grounding and bonding according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the grounding and bonding as much as I could according to the Home Inspection Standards of Practice.

AFCIs

UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the AFCI system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

GFCIs

UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the GFCI system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

Recommendations

5.4.1 Panelboards & Breakers

RUST, CORROSION, WATER INSIDE CABINET

Observed: Indications of water intrusion, rust and corrosion inside the electrical panel cabinet.

Concern: Electrical hazard!

Recommendation: Further evaluation and correction by an electrical contractor or other qualified professional.

Recommendation

Contact a qualified electrical contractor.



Maintenance



5.12.1 Electrical Defects

BROKEN LIGHT FIXTURE EXTERIOR

observed a broken light fixture on the exterior back of the home.

Recommendation

Contact a qualified professional.



Maintenance



5.12.2 Electrical Defects

MISSING JUNCTION BOX COVER

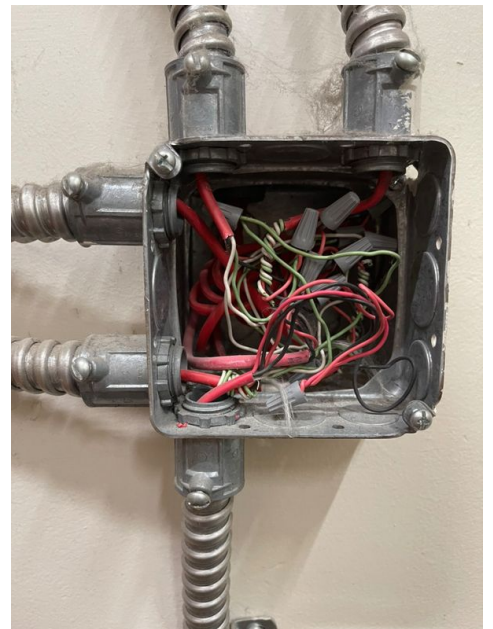
Observed: missing cover on junction box.

Concern: potential electrical and safety hazard.

Recommendation: Potential DIY project if unsure how to correct safely and properly then further evaluation and correction by an electrical contractor or other qualified professional.

Recommendation

Contact a qualified professional.



6: ATTIC, INSULATION & VENTILATION

Information

| | | |
|---|--|---|
| General: Inspected From Attic Access | General: Type of Insulation Rock wool | General: Approximate R-value 28.8 |
| Structural Components & Observations in Attic: Inspected | Insulation in Attic: Inspected | Ventilation in Attic: Inspected |
| Mechanical Exhaust System: Kitchen-Inspected | Mechanical Exhaust System: Bathrooms- Inspected | Mechanical Exhaust System: Laundry Room- Inspected |
| General: General Photos | | |



General: Approximate Average Depth of Insulation

6-9 inches

Determining how much insulation should be installed in a house depends upon where a home is located. The amount of insulation that should be installed at a particular area of a house is dependent upon which climate zone the house is located and the local building codes.

Limitations

Structural Components & Observations in Attic

COULD NOT SEE EVERYTHING IN ATTIC

I could not see and inspect everything in the attic space. The access is restricted and my inspection is limited.

7: INTERIOR

Information

| | | |
|--|--|--|
| General: General Photos | General: Ceiling Material Gypsum Board | General: Wall Material Gypsum Board |
| General: Floor Coverings Laminate, Carpet | Doors: Inspected | Windows: Inspected |
| Switches, Fixtures & Receptacles: Inspected | Stairs, Steps, Stoops, Stairways & Ramps: Inspected | Railings, Guards & Handrails: Inspected |
| Floors, Walls, Ceilings: Inspected | | |

Limitations

Switches, Fixtures & Receptacles

UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

8: BATHROOM

Information

- Bathroom Toilets:** Inspected
- GFCI & Electric in Bathroom:** Inspected
- Door:** Inspected
- General:** General Photos
- Sinks, Tubs & Showers:** Inspected
- Heat Source in Bathroom:** Inspected
- Bathroom Exhaust Fan / Window:** Inspected
- Cabinetry, Ceiling, Walls & Floor:** Inspected



9: LAUNDRY

Information

General: General Photos



Clothes Washer: Inspected

Clothes Dryer: Inspected

Laundry Room: Inspected

10: KITCHEN

Information

| | | |
|--|--|--|
| General: Cabinetry Material Wood | General: Countertop Material Granite | Kitchen Sink: Inspected |
| Garbage Disposal: Inspected | Windows: Inspected | GFCI: Inspected |
| AFCI: Inspected | Kitchen Exhaust Fan: Inspected | Floors, Walls, Ceilings: Inspected |
| Dishwasher: Inspected | Range/Oven/Cooktop: Inspected | Refrigerator: Inspected |
| Built-in Microwave: Inspected | Kitchen Island: Inspected | Countertops & Cabinets: Inspected |
| Lighting: Inspected | | |
| General: General Photos | | |



Recommendations

10.2.1 Kitchen Sink

DEFECT AT THE KITCHEN SINK

 Maintenance

Observed: Indications of a defect at the kitchen sink.

Concern: Potential moisture and system issues.

Recommendation: Further evaluation and correction by an Plumbing contractor or other qualified professional.

Recommendation
Contact a qualified plumbing contractor.



Video

(click here to view on web)

11: BASEMENT, FOUNDATION, CRAWLSPACE & STRUCTURE

Information

| | | |
|---|---|---|
| General: Foundation Type Concrete | General: Basement Insulation Type Batt | General: Crawl Space Access Location Basement |
| General: Crawl Space Insulation Type Fiberglass | Insulation in Foundation/Basement: Inspected | Ventilation in Foundation/Basement Area: Inspected |
| Crawlspace: Crawl Space Inspected | Insulation in Crawlspace: Inspected | Ventilation in Crawlspace: Inspected |

General: Homeowner

One of the most common problems in a house is a wet basement, Crawl space or foundation. You should monitor the walls and floors for signs of water penetration, such as dampness, water stains, peeling paint, efflorescence, and rust on exposed metal parts. In a finished basement, look for rotted or warped wood paneling and doors, loose floor tiles, and mildew stains. It may come through the walls or cracks in the floor, or from backed-up floor drains, leaky plumbing lines, or a clogged air-conditioner condensate line.

General: General Photos



General: Basement Approximate Average Thickness of Insulation

3-6 inches

Determining how much insulation should be installed in a house depends upon where a home is located. Proper amount of insulation should be installed at a particular area of a house is dependent upon which climate zone the house is located.

This house is located in a climate zone that requires an R-value of 10

General: Crawl Space Approximate Average Depth of Insulation

3-6 inches

Determining how much insulation should be installed in a house depends upon where a home is located. proper amount of insulation should be installed at a particular area of a house is dependent upon which climate zone the house is located.

This house is located in a climate zone that requires an R-value of at least 10.

Basement: Basement- Inspected

The basement can be a revealing area in the house and often provides a general picture of how the entire structure works. In most basements, the structure is exposed overhead, as are the HVAC distribution system, plumbing supply and DWV lines, and the electrical branch-circuit wiring. I inspected those systems and components.

Basement: Foundation- Inspected

The foundation was inspected according to the [Home Inspection Standards of Practice](#).

Basement: Structural Components- Inspected

Structural components were inspected according to the [Home Inspection Standards of Practice](#), including readily observed floor joists.

Crawlspace: Structural Components- Inspected

Structural components were inspected according to the [Home Inspection Standards of Practice](#), including readily observed floor joists.

Limitations

Basement

PERSONAL STORAGE RESTRICTION

Personal items limited my visual inspection. Moving personal items and storage is not required by the Standards of Practice. I could not see everything. Many things were blocking my inspection.



Crawlspace

PERSONAL STORAGE RESTRICTION

Personal items limited my visual inspection. Moving personal items and storage is not required by the Standards of Practice. I could not see everything. Many things were blocking my inspection.



Recommendations

11.5.1 Crawlspace

IMPROPER NOTCH, HOLE, OR CUT



Observed: Indications of cutting, notching and boring of framing members that may, in my opinion,

- Notches in solid lumber joists, rafters and beams can not be greater than 1/6th of the member's depth, must not be longer than 1/3rd of the member depth, and must not be located in the middle 1/3rd of the span.
 - Notches at the ends must not exceed 1/4th the member depth.
- The tension side of members 4 inches or greater in thickness must not be notched, except at the ends.
- The diameter of holes bored or cut into members must not exceed 1/3rd the member depth.
 - Holes must not be closer than 2 inches to the top or bottom of the member, or to any other hole located in the member. If the member is notched, the hole must not be closer than 2 inches to the notch.

Concern: Present a structural or safety concern.

Recommendation: Further evaluation and correction by a qualified contractor or other qualified professional.

Recommendation

Contact a qualified professional.



11.5.2 Crawlspace

VAPOR BARRIER DEFECT

Maintenance

Observed: vapor barrier had several holes and is in need of repair. (In generally good repair, however vapor barrier should overlap and be sealed at the seams)

Concern: water intrusion into the underfloor crawlspace.

Recommendation: further evaluation and correction by a general contractor or other qualified professional.

Recommendation

Contact a qualified professional.



11.6.1 Insulation in Crawlspace

INSULATION HANGING LOOSELY

Repairs

Observed: Insulation installed on the floor joists above the foundation area is hanging loosely and falling off.

Concern: Potential for the system to be ineffective. Prone to moisture penetration and condensation issues.

Recommendation: Further evaluation and correction by a qualified contractor or other qualified professional.

Recommendation

Contact a qualified insulation contractor.



12: HEATING

Information

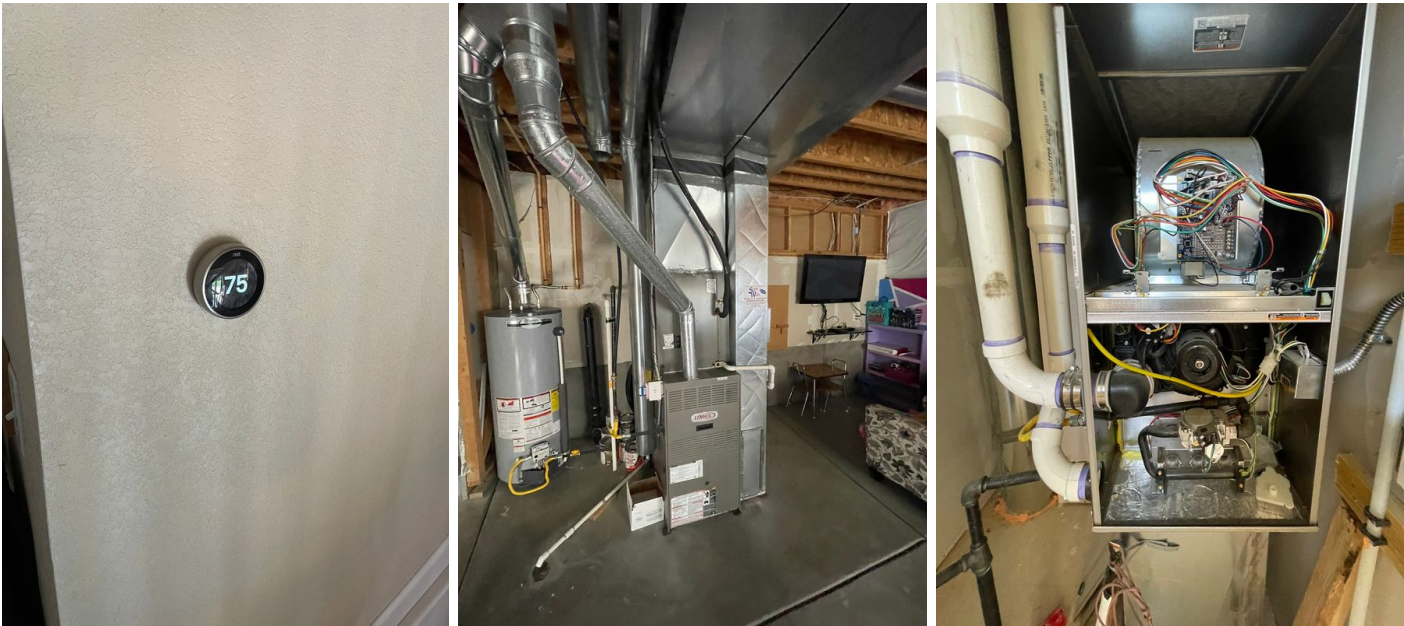
| | | |
|---|--|---|
| General: Thermostat Location Multiple locations | General: Heating System Energy Source Gas | General: Heating Method Warm-Air Heating System |
| Thermostat & Operating Controls: Inspected | Thermostat & Operating Controls: Service Switch Inspected | Ductwork: Inspected |

General: Homeowner

Most HVAC (heating, ventilating and air-conditioning) systems in houses are relatively simple in design and operation. They consist of four components: controls, fuel supply, heating or cooling unit, and distribution system. The adequacy of heating and cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

It's your job to get the HVAC system inspected and serviced every year. And if you're system has an air filter, be sure to keep that filter cleaned.

General: General Photos



Limitations

Ductwork

INSPECTION RESTRICTED

Cannot inspect all portions of the duct system. Many parts of the duct system is in walls and chases and are not fully accessible for a visual inspection.

13: COOLING

Information

| | | |
|---|---|---|
| General: Location Exterior West | General: Energy Source Electric | General: Cooling Method Central Air Conditioning System |
| General: Configuration Central | Cooling System: Inspected | Condensate System: Condensate Discharge- Inspected |

General: Homeowner

Most air-conditioning systems in houses are relatively simple in design and operation. The adequacy of the cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

It's your job to get the air conditioning system inspected and serviced every year. And if you're system as an air filter, be sure to keep that filter cleaned.

General: General Photos



Condensate System: Condensate Pump- Inspected

I observed a condensate pump installed at the cooling system. This component collects condensate water that is created when the cooling system is operating. The condensate pump should collect and discharge the water properly.

14: PLUMBING

Information

| | | |
|---|---|---|
| General: Water Supply Material Copper | General: Water Distribution Material Pex | General: Main water Shutoff Location Basement |
| General: Hot Water System Location Basement | General: Hot Water Source Capacity 50 gallons | General: Main Fuel Source Gas |
| General: Main Fuel Source Shutoff Location Side of House | General: Water Filters None | General: Sump Pump Location Basement |
| General: Sump Pump Operation Could not Activate | General: Drain Material PVC | General: Drain Size 3" |
| Main Water Shut-Off Valve: Inspected | Water Supply : Inspected | Fuel Supply: Inspected |
| Hot Water Source: Inspected | Drain, Waste, & Vent Systems: Inspected | Water Supply & Distribution Systems: Inspected |
| General: Homeowner It's your job, to know where the main water and gas shutoff valves are located. And be sure to keep an eye out for any water and plumbing leaks. | | |

General: General Photos

Fuel shutoff



Water shutoff



Hot water tank



Dump pump

General: Water Supply

Public

The water supply to the house appeared to be from a private water supply source based upon the observed indications at the time of the inspection. To confirm and be certain, I recommend asking the homeowner for details.

General: Type of Hot Water Source

Gas-Fired Hot Water Tank

I inspected for the main source of the distributed hot water to the plumbing fixtures (sinks, tubs, showers). I recommend asking the homeowner for details about the hot water equipment and past performance.

Sump Pump: Inspected

Neglecting to test a sump pump routinely, especially if it is rarely used, can lead to severe water damage when a heavy storm, snow melt, or flooding sends water against the home.

Overload of the sump pump due to poor drainage elsewhere on the property can lead to pump failure. Frequent sump operation can be a sign of excessive water buildup under the basement floor due to poorly sloped landscaping, poor rain runoff, gutter back-flows, and other problems.

Lack of a back-up sump pump, which can be quickly installed in the event the first pump fails, can lead to serious water damage and property loss. This is especially important if the sump pump is relied upon to maintain a dry basement, or if the house is located in an area of seasonally high groundwater. Sump failure can cause extensive water damage and the loss of valuable personal belongings.

The sump pump should not recycle. When a sump pump is used to keep a buildings interior dry, the discharge should drain away from the building and should not add to the subsurface water condition that the sump pump is meant to control.

Limitations

Sump Pump

UNABLE TO TURN ON SUMP PUMP

I was unable to turn on the sump pump. This was an inspection restriction.

Drain, Waste, & Vent Systems

NOT ALL PIPES WERE INSPECTED

The inspection was restricted because not all of the pipes were exposed, readily accessible, and observed. For example, most of the drainage pipes were hidden within the walls.

Water Supply & Distribution Systems

NOT ALL PIPES WERE INSPECTED

The inspection was restricted because not all of the water supply pipes were exposed, readily accessible, and observed. For example, most of the water distribution pipes, valves and connections were hidden within the walls.

15: ATTACHED GARAGE

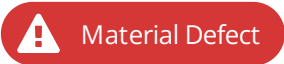
Information

| | | |
|--|--|--|
| General: General Photos | General: Type of Door Operation Opener | Garage Vehicle Door: Inspected |
| Garage Vehicle Door Opener: Manual Release- Inspected | Garage Vehicle Door Opener: Garage Door Panels- Inspected | Garage Vehicle Door Opener: Spring Warning Label- Inspected |
| Garage Vehicle Door Opener: General Warning Label- Inspected | Garage Vehicle Door Opener: Bottom Bracket Label- Inspected | Garage Vehicle Door Opener: Wall Control Button Label- Inspected |
| Garage Vehicle Door Opener: Springs, Bracket & Hardware- Inspected | Garage Vehicle Door Opener: Door balance- Inspected | Garage Vehicle Door Opener: Spring Containment- Inspected |
| Garage Vehicle Door Opener: Wall Push Button- Inspected | Garage Vehicle Door Opener: Non-Contact Reversal- Inspected | Garage Vehicle Door Opener: Photo-Electric Eyes- Inspected |
| Ceiling, Walls & Doors: Garage Ceiling & Walls- Inspected | Ceiling, Walls & Doors: Door Between Garage and House- Inspected | Electric in the Garage: Inspected |
| Garage Floor: Inspected | Moisture Intrusion: Inspected | |

Recommendations

15.4.1 Ceiling, Walls & Doors

DOOR WAS NOT SELF-CLOSING



Observed: Door between the garage and the house is not equipped with a self-closing or an automatic-closing device.

Concern: This is a fire hazard.

Recommendation: Further evaluation and correction by an general contractor or other qualified professional.

Recommendation

Contact a qualified general contractor.



16: APPLIANCE INFORMATION

Information

| | | |
|--|--|--|
| Dryer: Photos | Refrigerator: Photos | Air Conditioner - Central Air: Photos |
| Air Conditioner - Window Unit: Photos | Condenser: Photos | Dishwasher: Photos |
| Disposal: Photos | Furnace: Photos | Microwave: Photos |
| Stove/Oven: Photos | Stove Top: Photos | Wall Oven: Photos |
| Washer: Photos | Washer Dryer Combo Unit: Photos | Water Heater - Indirect: Photos |
| Water Heater - Direct: Photos | Well Pump: Photos | Garage Opener: Photos |

STANDARDS OF PRACTICE

Inspection Detail

Please refer to the [Home Inspection Standards of Practice](#) while reading this inspection report. I performed the home inspection according to the standards and my clients wishes and expectations. Please refer to the inspection contract or agreement between the inspector and the inspector's client.

Roof

Please refer to the [Home Inspection Standards of Practice](#) related to inspecting the roof of the house.

Monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

I. The inspector shall inspect from ground level or the eaves:

1. the roof-covering materials;
2. the gutters;
3. the downspouts;
4. the vents, flashing, skylights, chimney, and other roof penetrations; and
5. the general structure of the roof from the readily accessible panels, doors or stairs.

II. The inspector shall describe:

1. the type of roof-covering materials.

III. The inspector shall report as in need of correction:

1. observed indications of active roof leaks.

Chimney, Fireplace, or Stove

I. The inspector shall inspect:

1. readily accessible and visible portions of the fireplaces and chimneys;
2. lintels above the fireplace openings;
3. damper doors by opening and closing them, if readily accessible and manually operable; and
4. cleanout doors and frames.

II. The inspector shall describe:

1. the type of fireplace.

III. The inspector shall report as in need of correction:

1. evidence of joint separation, damage or deterioration of the hearth, hearth extension or chambers;
2. manually operated dampers that did not open and close;
3. the lack of a smoke detector in the same room as the fireplace;
4. the lack of a carbon-monoxide detector in the same room as the fireplace; and
5. cleanouts not made of metal, pre-cast cement, or other non-combustible material.

Exterior

Please refer to the [Home Inspection Standards of Practice](#) related to inspecting the exterior of the house.

I. The inspector shall inspect:

1. the exterior wall-covering materials;
2. the eaves, soffits and fascia;
3. a representative number of windows;
4. all exterior doors;
5. flashing and trim;
6. adjacent walkways and driveways;
7. stairs, steps, stoops, stairways and ramps;
8. porches, patios, decks, balconies and carports;
9. railings, guards and handrails; and
10. vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.

II. The inspector shall describe:

1. the type of exterior wall-covering materials.

III. The inspector shall report as in need of correction:

1. any improper spacing between intermediate balusters, spindles and rails.

Electrical**I. The inspector shall inspect:**

1. the service drop;
2. the overhead service conductors and attachment point;
3. the service head, gooseneck and drip loops;
4. the service mast, service conduit and raceway;
5. the electric meter and base;
6. service-entrance conductors;
7. the main service disconnect;
8. panelboards and over-current protection devices (circuit breakers and fuses);
9. service grounding and bonding;
10. a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible;
11. all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible; and
12. for the presence of smoke and carbon-monoxide detectors.

II. The inspector shall describe:

1. the main service disconnect's amperage rating, if labeled; and
2. the type of wiring observed.

III. The inspector shall report as in need of correction:

1. deficiencies in the integrity of the service-entrance conductors insulation, drip loop, and vertical clearances from grade and roofs;
2. any unused circuit-breaker panel opening that was not filled;
3. the presence of solid conductor aluminum branch-circuit wiring, if readily visible;
4. any tested receptacle in which power was not present, polarity was incorrect, the cover was not in place, the GFCI devices were not properly installed or did not operate properly, evidence of arcing or excessive heat, and where the receptacle was not grounded or was not secured to the wall; and
5. the absence of smoke and/or carbon monoxide detectors.

Attic, Insulation & Ventilation**The inspector shall inspect:**

insulation in unfinished spaces, including attics, crawlspaces and foundation areas;

ventilation of unfinished spaces, including attics, crawlspaces and foundation areas; and mechanical exhaust systems in the kitchen, bathrooms and laundry area.

The inspector shall describe:

the type of insulation observed; and
the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.

The inspector shall report as in need of correction:

the general absence of insulation or ventilation in unfinished spaces.

Interior

The inspector shall inspect:

a representative number of doors and windows by opening and closing them;
floors, walls and ceilings; stairs, steps, landings, stairways and ramps;
railings, guards and handrails; and
garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

The inspector shall describe:

a garage vehicle door as manually-operated or installed with a garage door opener.

The inspector shall report as in need of correction:

improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
photo-electric safety sensors that did not operate properly; and
any window that was obviously fogged or displayed other evidence of broken seals.

Bathroom

The home inspector will inspect:

interior water supply, including all fixtures and faucets, by running the water;
all toilets for proper operation by flushing; and
all sinks, tubs and showers for functional drainage.

Laundry

The inspector shall inspect:

mechanical exhaust systems in the kitchen, bathrooms and laundry area.

Kitchen

The kitchen appliances are not included in the scope of a home inspection according to the Standards of Practice.

The inspector will out of courtesy only check:

the stove,
oven,
microwave, and
garbage disposer.

Basement, Foundation, Crawlspce & Structure

I. The inspector shall inspect:

the foundation;
the basement;
the crawlspace; and
structural components.

II. The inspector shall describe:

the type of foundation; and
the location of the access to the under-floor space.

III. The inspector shall report as in need of correction:

observed indications of wood in contact with or near soil;
observed indications of active water penetration;
observed indications of possible foundation movement, such as sheetrock cracks, brick cracks, out-of-square door frames, and unlevel floors; and
any observed cutting, notching and boring of framing members that may, in the inspector's opinion, present a structural or safety concern.

Heating

I. The inspector shall inspect:

1. the heating system, using normal operating controls.

II. The inspector shall describe:

1. the location of the thermostat for the heating system;
2. the energy source; and
3. the heating method.

III. The inspector shall report as in need of correction:

1. any heating system that did not operate; and
2. if the heating system was deemed inaccessible.

Cooling

I. The inspector shall inspect:

1. the cooling system, using normal operating controls.

II. The inspector shall describe:

1. the location of the thermostat for the cooling system; and
2. the cooling method.

III. The inspector shall report as in need of correction:

1. any cooling system that did not operate; and
2. if the cooling system was deemed inaccessible.

Plumbing

I. The inspector shall inspect:

1. the main water supply shut-off valve;
2. the main fuel supply shut-off valve;
3. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;
4. interior water supply, including all fixtures and faucets, by running the water;
5. all toilets for proper operation by flushing;
6. all sinks, tubs and showers for functional drainage;
7. the drain, waste and vent system; and
8. drainage sump pumps with accessible floats.

II. The inspector shall describe:

1. whether the water supply is public or private based upon observed evidence;
-

2. the location of the main water supply shut-off valve;
3. the location of the main fuel supply shut-off valve;
4. the location of any observed fuel-storage system; and
5. the capacity of the water heating equipment, if labeled.

III. The inspector shall report as in need of correction:

1. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously;
2. deficiencies in the installation of hot and cold water faucets;
3. active plumbing water leaks that were observed during the inspection; and
4. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

Attached Garage

The inspector shall inspect:

garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

The inspector shall describe:

a garage vehicle door as manually-operated or installed with a garage door opener.